

GENERAL NOTES

- PROJECT BACKGROUND:
SUBDIVISION NAME: PARCEL 50 - NEW CUT ROAD
TAX MAP: 25 GRD 14
SECTION/AREA: LOT 1/P.49 & LOTS 2-7/P.50
ZONING: R-ED
20-04 REFERENCE: N/A
ELECTION DISTRICT: 2ND
TOTAL TRACT AREA: 7.34 ACRES
TOTAL TRACT AREA: 6.9882 ACRES
TOTAL NET TRACT AREA: 0.35 ACRES
AREA OF PROPOSED LOTS: 7.34 - 3.5 (SS) = 3.84 AC
AREA OF PUBLIC ROW: 0 ACRES
AREA OF RESIDENTIAL LOTS: 1.41 ACRES
OPEN SPACE REQUIRED: SEE TABULATION THIS SHEET
OPEN SPACE PROVIDED: SEE TABULATION THIS SHEET
PUBLIC WATER & SEWER: WATER (154-M) SEWER (10-1167-D)
DPZ REFERENCES: ECP-23-047, PLAT 5341, WP-25-080, WP-26-004

- THIS PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS ALTERNATIVE COMPLIANCE REQUESTS HAVE BEEN APPROVED.
- THE EXISTING TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD RUN TOPOGRAPHIC SURVEY PREPARED BY VOGEL ENGINEERING+TIMMONS GROUP, PERFORMED IN MAY, 2021. OFFSITE TOPOGRAPHY FROM HOWARD COUNTY GIS.
- THE PROJECT BOUNDARY IS BASED ON A BOUNDARY SURVEY PREPARED BY VOGEL ENGINEERING+TIMMONS GROUP, DATED MAY 2023.
- TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO CEMETERIES OR GRAVE SITES LOCATED ON THE SUBJECT PROPERTY OR THE COUNTY'S CEMETERY SITE MAP.
- THERE IS AN EXISTING HOME TO REMAIN ON PARCEL 49 EX. LOT 2 (PROPOSED LOT 1).

- ENVIRONMENTAL SITE DESIGN (ESD) STORMWATER MANAGEMENT FOR THE PROJECT IS BEING ACHIEVED THROUGH THE USE OF:
 - M-6 MICRO BIO-RETENTION FACILITIES
 - A-2 PERMEABLE SURFACE DRIVEWAY
 - M-5 DRYWELLS
 - M-5 GRAVEL TRENCH (DRY WELL)
 - F-1 SURFACE SAND FILTER BMP FACILITY.

- THE PROJECT SITE DRAINS TO THE TIBER BRANCH WATERSHED, IN ACCORDANCE WITH COUNCIL RESOLUTION NO. 123-2019 AND THE HOWARD COUNTY DESIGN MANUAL VOLUME 3, CHAPTER 2, SECTION 2.9.8.1. QUANTITY MANAGEMENT FOR THE 24-HOUR 10 AND 100 YEAR STORM EVENTS AS WELL AS THE 3.65 HOUR, 6.6 INCH STORM EVENT IS REQUIRED. THE RESULT BEING MANAGED WOODS IN GOOD CONDITION.

- QUANTITY MANAGEMENT SHALL BE ACHIEVED IN THE F-1 SAND FILTER FACILITY.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.

- THE ESD AND QUANTITY MANAGEMENT FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED.

- THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.

- WATER FOR THIS PROJECT IS TO BE PUBLIC EXTENSION OF CONTRACT NO. 134-W. REFER TO CONTRACT NO. 14-5257-D.

- SEWER FOR THIS PROJECT IS TO BE PUBLIC EXTENSION OF CONTRACT NO. 10-1167-D. REFER TO CONTRACT NO. 14-5257-D.

- THE SUBJECT PROPERTY IS ZONED "R-ED" IN ACCORDANCE WITH THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN.

- DEVELOPMENT OR CONSTRUCTION ON THIS PROPERTY MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, ALTERNATIVE COMPLIANCE APPLICATION OR BUILDING/GRADING PERMIT APPLICATIONS.

- EXISTING UTILITIES ARE BASED ON HOWARD COUNTY GIS AND FIELD SURVEYS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE DEVELOPER'S EXPENSE.

- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NO. 25DMT5 AND 25DMT2 WERE USED FOR THIS PROJECT.

- NO RARE, THREATENED OR ENDANGERED SPECIES WERE OBSERVED ON THE PROPERTY.

- NO FLOODPLAIN IS LOCATED ONSITE.

- THERE ARE STEEP SLOPES WITH CONTIGUOUS AREAS OVER 20,000 SF LOCATED ONSITE.

- A WETLAND, FOREST STAND DELINEATION AND PRELIMINARY FOREST CONSERVATION PLAN REPORT WAS PERFORMED BY ECO-SCIENCE PROFESSIONALS, INC., DATED NOVEMBER 3, 2022 BY MR. BRODY MCALLISTER - ISA CERTIFIED ARBORIST, CERT. ID. M46471A, MD DNR FCA QUALIFIED PROFESSIONAL.

- AN UPDATE TO THE PLAN WAS COMPLETED IN XX 2025 ADDING THE TREES LOCATED IN OR NEAR THE 30' RIGHT-OF-WAY WHICH PROVIDES ACCESS TO THE PROJECT SITE.

- FOREST CONSERVATION EASEMENTS HAVE PRELIMINARILY BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE HOWARD COUNTY FOREST CONSERVATION MANUAL.

- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.

- TOTAL FOREST CONSERVATION OBLIGATION OF THIS PROJECT IS RETENTION OF 3.0 ACRES OF FOREST.

- THIS PLAN PROVIDES 2.98 ACRES OF CREDITED FOREST RETENTION EASEMENT WITHIN OPEN SPACE OF LOT 8.

- THERE ARE NO WETLANDS, STREAMS OR THEIR BUFFERS WITHIN THE LIMIT OF DISTURBANCE.

- COLLEGE AVENUE IS A SCENIC ROAD, MINOR COLLECTOR.

- LOTS 2-5 WILL SERVE ACCESS VIA THE EX. 30' RIGHT-OF-WAY (L.257 F.386).

- NEW CUT ROAD IS A SCENIC ROAD, MINOR COLLECTOR.

- NO CONNECTION OR IMPROVEMENTS ARE PROPOSED.

- UTILIZE HOWARD COUNTY STANDARD DETAIL NO. R-6-06 AT COLLEGE AVENUE. THIS PORTION OF COLLEGE AVENUE IS AN OPEN SECTION ROADWAY WHERE THE FLOWLINE IS THE EDGE OF PAVEMENT. NO DRIVEWAY CULVERT IS PROPOSED.

- PUBLIC TRASH AND RECYCLING COLLECTION WILL BE PROVIDED ALONG THE PUBLIC ROAD (COLLEGE AVENUE) WITHIN 5' OF THE EDGE OF THE ROADWAY.

- DRIVEWAYS(S) SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FLOOD AND EMERGENCY VEHICLES FOR THE FOLLOWING MINIMUM REQUIREMENTS:

- A) WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE).

- B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1 1/2" MIN).

- C) GEOMETRY - MAXIMUM LOS CHANGE, MAXIMUM LOS CHANGE AND MINIMUM OF 45-FOOT TURNING RADII.

- D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING).

- E) DRAINAGE ELEVATIONS - CAPABLE OF PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.

- F) STRUCTURE CLEARANCES - MINIMUM 12 FEET.

- G) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.

- THE PRE-SUBMISSION COMMUNITY MEETING WAS HELD FOR THIS PROJECT ON FEBRUARY 27, 2024 AT THE HOWARD COUNTY LIBRARY SYSTEM-MILLER BRANCH.

- IN ACCORDANCE WITH SECTION 16.121(A)(2) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, THE OPEN SPACE REQUIREMENTS FOR THIS R-ED PROJECT IS 50% OF GROSS AREA (7.33 AC. GROSS AREA X 50% = 3.67 AC.).

- SEE TABULATION HEREON.

- IN ACCORDANCE WITH SECTION 16.121(A)(4)(i) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, RECREATION OPEN SPACE IS NOT REQUIRED FOR THIS R-ED PROJECT WITH PROPOSED LESS THAN 10 RESIDENTIAL LOTS.

- THE ENVIRONMENTAL CONCEPT PLAN (ECP-23-047) WAS APPROVED ON AUGUST 15, 2024.

- THE TRAFFIC STUDY FOR THIS PROJECT, TITLED "NEW CUT ROAD SITE", WAS PREPARED BY THE TRAFFIC GROUP, INC., DATED APRIL 5, 2024 AND WAS APPROVED IN XXXX 2024.

- THE PROPOSED UNITS SHALL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL. A FINANCIAL SURETY SHALL BE POSTED AS PART OF THE FUTURE FINAL PLAN DEVELOPER'S AGREEMENT FOR THE REQUIRED LANDSCAPING IN THE AMOUNT OF \$14,610 FOR THE REQUIRED 18 SHADE TREES (\$5,400), 127 SHRUBS (\$3,810), AND \$5,400 FOR 18 SPECIEM TREE MITIGATION PLANTINGS).

- PUBLIC STREET TREES AND TRASH PAD SHRUBS ARE PROVIDED FOR THIS PROJECT IN ACCORDANCE WITH SECTION 16.124(E)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL. A FINANCIAL SURETY IN THE AMOUNT OF \$1,250 SHALL BE POSTED AS PART OF THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS COST ESTIMATE.

- IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL - VOLUME 3, CHAPTER 2 - SECTION 2.9.8, AND THE HOWARD COUNTY ZONING REGULATIONS, RECREATION OPEN SPACE IS REQUIRED AT 0.5 SPACES PER UNIT. SEE TABULATION HEREON. OFF STREET PARKING TO INCLUDE GARAGE SPACES, DRIVEWAY AND PARKING PADS. GARAGE COUNT AS SPACES. SEE TABULATION THIS SHEET.

- ALL WATER CONNECTIONS SHALL BE 1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAIL W-328 OUTSIDE METER SETTINGS.

- IN ACCORDANCE WITH SECTION 107.0.E OF THE 10/06/13 COMPREHENSIVE ZONING REGULATIONS, THIS SUBDIVISION IS SUBJECT TO MODERATE INCOME HOUSING UNITS.

- A MIHU AGREEMENT AND MIHU COVENANTS WILL BE REQUIRED IN ACCORDANCE WITH SECTION 13.402 OF THE HOWARD COUNTY CODE.

- THE MIHU REQUIREMENTS FOR THIS SUBDIVISION WILL BE 1 UNIT (10% OF 5 UNITS).

- ALL LOTS/RESIDENTIAL UNITS IN THIS SUBDIVISION (LOTS 2-8) ARE SUBJECT TO THE MIHU FEE-IN-LIEU REQUIREMENT THAT IS TO BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT THE TIME OF BUILDING PERMIT ISSUANCE BY THE PERMIT APPLICANT.

- THE MIHU AGREEMENT WILL BE RECORDED IN THE LAND RECORDS OF HOWARD COUNTY WITH THE RECORDING OF THE FUTURE FINAL PLAT.

- A PRIVATE RANGE OF ADDRESS SIGN ASSEMBLY SHALL BE FABRICATED AND INSTALLED BY HOWARD COUNTY BUREAU OF HIGHWAYS AT THE DEVELOPERS/OWNERS EXPENSE. CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-313-5752 FOR DETAILS AND COST ESTIMATES.

- A GEOTECHNICAL INVESTIGATION WAS COMPLETED BY FROELICH & ROBERTSON, INC. AND SUMMARIZED IN THE REPORT TITLED "REPORT OF GEOTECHNICAL STUDY DATED MARCH 29, 2024. BORINGS / TEST PITS WERE COMPLETED FOR THE ESD STORMWATER MANAGEMENT FACILITIES AND PROJECT RETAINING WALLS.

- TRAFFIC CONTROL DEVICES:
 - A. THE EX-1000 STOP SIGN AND STREET NAME SIGN (SNS) ASSEMBLIES FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETE.
 - B. THE TRAFFIC CONTROL DEVICES LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
 - C. ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
 - D. ALL SIGN POST USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED (CLOCK PUNCH) SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL PERFORATED SQUARE TUBE SLEEVE (12 GAUGE - 3" LONG). THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON THE TOP OF EACH POST.

- FOR ALL STANDARDS (CONSTRUCTION AND TEMPORARY TRAFFIC CONTROL) ARE REQUIRED FOR THIS PROJECT:
 - a. M-10A-02-02 - SHOULDER WORK (2 LANE, 2 WAY) - E-02 - LESS THAN 40 MPH
 - b. FOR ALL STANDARDS REQUIRED TO ON THIS PLAN THE CONTRACTOR MUST GO TO THE BOOK OF STANDARDS WHICH HAVE THE MOST CURRENT VERSION. THE BOOK OF STANDARDS CAN BE ACCESSSED AT:
HTTP://APPS.ROADS.MARYLAND.GOV/BUSINESS/SMITH/BRZ25TSP/DESIGNMANUALS/UP/PUBLICATIONS/ONLINE/OHD/BOOKSTD/INDEX/ASP
 - c. ALL ITEMS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT VERSION OF THE REFERENCED STANDARD AT THE TIME OF CONSTRUCTION.

OPEN SPACE TABULATION:

IN ACCORDANCE WITH SECTION 16.121(A)(2) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS THE OPEN SPACE REQUIRED FOR THIS R-ED PROJECT IS 50% OF GROSS AREA (7.33 AC. GROSS AREA X 50% = 3.67 AC.)

TOTAL REQUIRED: 3.67 AC

TOTAL PROVIDED: 4.39 AC

PRELIMINARY EQUIVALENT SKETCH PLAN TIMBER WOODS

LOTS 1-6 AND OPEN SPACE LOTS 7&8
PARCEL 50 (L.2011 / F.35) AND
A RESUBDIVISION OF SWEARER PROPERTY LOT 2 - PLAT 5347

NEW CUT ROAD

ELLICOTT CITY, MARYLAND 21043

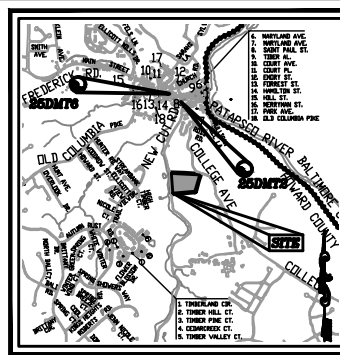
LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- RIGHT-OF-WAY LINE
- EXISTING CONTOUR
- EXISTING TREELINE
- EXISTING EDGE OF PAVING

BENCHMARKS

HOWARD COUNTY BENCHMARK
25DMT6 N 583057.566 E 1,369,561.591 NAVD88 ELEV. 149.681

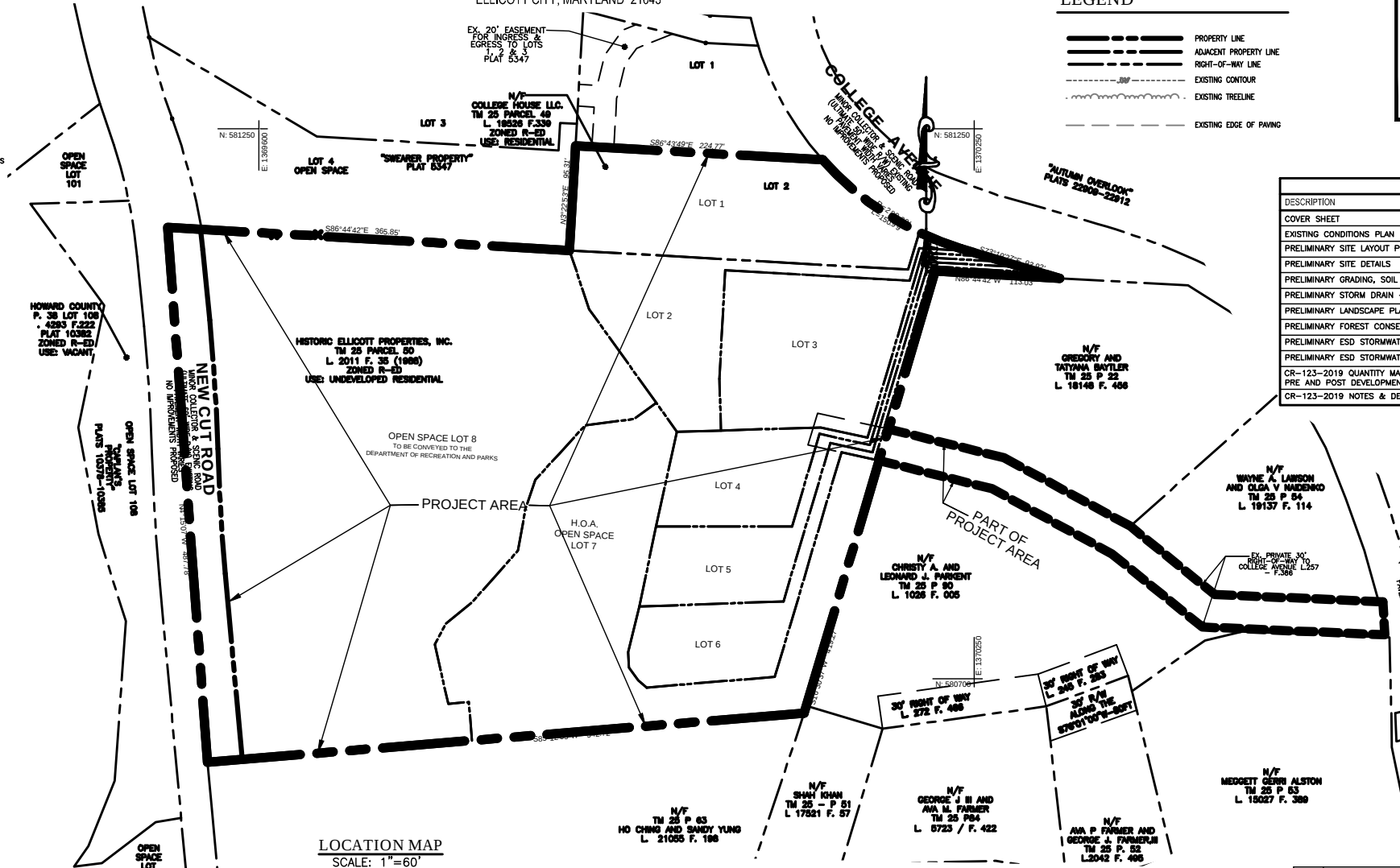
HOWARD COUNTY BENCHMARK
25DMT2 N 583000.850 E 1,369,820.612 NAVD88 ELEV. 133.996



VICINITY MAP
SCALE: 1"=2000'
ADC MAP/GRID NO. 4816/C9

SHEET INDEX

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PRELIMINARY FOREST CONSERVATION PLAN, NOTES AND DETAILS	8 OF 12
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LOCATION MAP

SCALE: 1"=60'

SITE DATA

- TOTAL PROJECT AREA: 6.9882 AC.
- AREA OF PLAN SUBMISSION: 7.34 AC
- PROJECT SITE: 6.9882 AC
- EX. 30' R/W (L.257 - F.386) = 0.35 AC
- AREA OF WETLANDS AND BUFFERS: 0.00 AC.
- AREA OF 100 YEAR FLOODPLAIN: 0.00 AC. (WITHIN PROJECT SITE)
- AREA OF FOREST: 5.7 AC. (WITHIN PROJECT SITE)
- AREA OF STEEP SLOPES (15% OR GREATER): 1.61 AC. WITHIN PROJECT SITE
- AREA OF STEEP SLOPES (25% OR GREATER): 3.50 AC. WITHIN PROJECT SITE (FOR AREAS MORE THAN 20,000 SQ. FT. PER SEC. 16.116 (1)(b))
- AREA OF ERODIBLE SOILS: 2.73 AC (INSIDE OF LOT FOR SLOPES GREATER THAN 15%)
- LIMIT OF DISTURBANCE: 3.25 AC
- PROJECT SITE: 2.64 AC
- EX. 30' R/W (L.257 - F.386) = 0.35 AC
- PROPOSED USES FOR SITE AND STRUCTURES: SINGLE FAMILY DETACHED
- GREEN OPEN AREA: 6.18 AC. WITHIN PROJECT SITE
- PROPOSED IMPERVIOUS AREA: 0.8 AC. WITHIN PROJECT SITE
- PRESENT ZONING DESIGNATION: R-ED
- MIN. TOTAL NUMBER OF UNITS ALLOWED: 6 (6.98-3.5 = 3.48 x 2 = 6.96)
- N. TOTAL NUMBER OF UNITS PROPOSED: 6 (5 PROPOSED, 1 EX. TO REMAIN)
- DPZ FILE REFERENCES: SEE NOTE 24

PARKING TABULATION:

SINGLE FAMILY DETACHED (SFD) = 6 LOTS (1 EXISTING TO REMAIN)
TOTAL NUMBER OF DWELLING UNITS PROPOSED : 5

- OFF-STREET PARKING REQUIRED:
 - 2 SPACES PER UNIT = 6 x 2 = 12
- VISITOR PARKING REQUIRED:
 - SFD - 5 UNITS @ 0.5 SPACES PER UNIT
 - 6 x 0.5 = 3 SPACES REQUIRED
- TOTAL OFF STREET PARKING REQUIRED: 15

SFD = 2 GARAGE / 2 DRIVEWAY
2 SPACES IN GARAGE = 12 SPACES (FOR 6 UNITS)
2 SPACES ON DRIVEWAY = 12 SPACES (FOR 6 UNITS)
TOTAL OFF STREET PARKING SPACES PROVIDED: 24 OFF-STREET
* EXISTING HOME HAS A 2-CAR GARAGE

MODERATE INCOME HOUSING UNITS (MIHU) ALLOCATION EXEMPTIONS TRACKING	
Total Number of Lots/Units Proposed	6 SFD UNITS, 1 EX TO REMAIN
Number of MIHU Required	1 SFD (5 X 10% = 0.5)
Number of MIHU Provided Onsite	0
Number of MIHU Allocated Regionally (pending legislative action)	4*
MIHU Fee-in-Lieu (including indirect variations)	LOTS 2-6

* TWO CREDITS FOR THE TWO (2) EXISTING HOMES / LOTS

MIHU AGREEMENT

PLEASE NOTE THAT ALL NEW LOTS/RESIDENTIAL UNITS IN THIS SUBDIVISION (LOTS 2-6) ARE SUBJECT TO THE MIHU FEE-IN-LIEU REQUIREMENT THAT IS TO BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT THE TIME OF BUILDING PERMIT ISSUANCE BY THE PERMIT APPLICANT.

SUMMARY OF FINDINGS FOR APPO TRAFFIC ANALYSIS:

- DATE OF REPORT: APRIL 5, 2024
- DATE OF COUNT(S): 12/20/2023
- REPORT SUBMITTED AS PART OF PLAN NUMBER: ECP-24-003
- PROVIDE STATEMENT THAT COUNTS WERE IN SESSION ON THAT DATE(S):
SCHOOLS WERE IN SESSION DURING ALL COUNTS
- LIST INTERSECTIONS STUDIED, IDENTIFY INTERSECTION AS STATE OR COUNTY JURISDICTION, AND LABEL LOTS FOR THE HORIZON YEAR OF EACH INTERSECTION:
MAIN STREET AT OLD COLUMBIA PIKE, COUNTY, 2027 DESIGN YEAR
LOS 8 AM & LOS 8 PM
- PROVIDE STATEMENT AS TO WHETHER MITIGATION IS REQUIRED AND EXPLAIN THE METHOD OF MITIGATION/IN LIEU FEE. NO MITIGATION REQUIRED

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

APPROVED
PLANNING BOARD OF HOWARD COUNTY

PB # XXX
XX.XX.2026
DATE

PLANNING DIRECTOR

DATE

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN

COVER SHEET

TIMBER WOODS

LOTS 1-6 AND OPEN SPACE LOTS 7&8
NEW CUT ROAD
ELLICOTT CITY, MARYLAND 21043
ZONED: R-ED

A RESUBDIVISION OF SWEARER PROPERTY LOT 2-PLAT 5347

PARCEL 49 (LOT 2) & 50 HOWARD COUNTY, MARYLAND

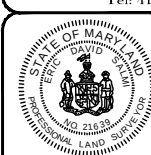
OWNER P.49
COLLEGE HOUSE LLC
8 PARK CENTER CT, STE-200
OWINGS MILLS, MD. 21117
TEL: 410-465-1950

OWNER / DEVELOPER P.50
HISTORIC ELLICOTT PROPERTIES
8 PARK CENTER CT, STE-200
OWINGS MILLS, MD. 21117
TEL: 410-465-1950

8165 Cypress Cedar Lane - Suite 201
Ellicott City, Maryland 21043
Tel: 410-320-8217 - connect@exsite-llc.com



EXSITE
AND
SURVEYING, LLC
8165 Cypress Cedar Lane - Suite 201
Ellicott City, Maryland 21043
Tel: 410-320-8217 - connect@exsite-llc.com



DESIGN BY: EXSITE
DRAWN BY: EDS
CHECKED BY: EXSITE
DATE: MARCH 2026
SCALE: AS SHOWN
W.O. NO.: 26-010

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
LAND SURVEYOR UNDER THE LAWS OF THE
STATE OF MARYLAND, LICENSE NO. 21639
EXPIRATION DATE 01-03-2028

1 SHEET
OF 12

GENERAL NOTES

- PROJECT BACKGROUND:
SUBDIVISION NAME: PARCEL 50 - NEW CUT ROAD
TAX MAP: TM 25 GRID: 14
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ZONING: F-ED
26/BA REFERENCE: N/A
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PARCEL 50: 6.9882 ACRES
EX 30' RIGHT-OF-WAY: 0.35 ACRES
TOTAL NET TRACT AREA: 7.34 - 3.5 (SS) = 3.84 AC
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OPEN SPACE PROVIDED: SEE TABULATION THIS SHEET
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- THE PROJECT BOUNDARY IS BASED ON A BOUNDARY SURVEY PREPARED BY VOGEL ENGINEERING+TIMMONS GROUP, DATED MAY 2023.
- TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO CEMETERIES OR GRAVE SITES LOCATED ON THE SUBJECT PROPERTY OR THE COUNTY'S CEMETERY SITE MAP.
- THERE IS AN EXISTING HOME TO REMAIN ON PARCEL 49 EX. LOT 2 (PROPOSED LOT 1).
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 - M-6 MICRO-RETENTION FACILITIES
 - A-2 PERMEABLE SURFACE DRIVEWAY
 - M-5 DRYWELLS
 - M-5 GRAVEL TRENCH (DRY WELL)
 - F-1 SURFACE SAND FILTER BMP FACILITY.
 - THE PROJECT SITE DRAINS TO THE TIBER BRANCH WATERSHED, IN ACCORDANCE WITH COUNCIL RESOLUTION NO. 123-2019 AND THE HOWARD COUNTY DESIGN MANUAL VOLUME 1, CHAPTER 5, SECTION 5.2.1, QUANTITY MANAGEMENT FOR THE 24-HOUR 10 AND 100 YEAR STORM EVENTS AS WELL AS THE 3.55 HOUR, 6.6 INCH STORM EVENT IS REQUIRED. THE RESULT BEING MANAGED "WOODS IN GOOD CONDITION".
 - QUANTITY MANAGEMENT SHALL BE ACHIEVED IN THE F-1 SAND FILTER FACILITY.
 - AS ENVIRONMENTAL WAIVERS ARE REQUIRED FOR THIS PROJECT, A 10% REDUCTION OF THE EXISTING RUNOFF RATE IS REQUIRED.
 - THE ESD AND QUANTITY MANAGEMENT FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED.
- THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
 - WATER FOR THIS PROJECT IS TO BE PUBLIC EXTENSION OF CONTRACT NO. 134-W. REFER TO CONTRACT NO. 14-5257-D.
 - SEWER FOR THIS PROJECT IS TO BE PUBLIC EXTENSION OF CONTRACT NO. 10-1167-D. REFER TO CONTRACT NO.
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- EXISTING UTILITIES ARE BASED ON HOWARD COUNTY GIS AND FIELD SURVEYS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE DEVELOPER'S EXPENSE.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NO. 250M16 AND 250M12 WERE USED FOR THIS PROJECT.
- NO RARE, THREATENED OR ENDANGERED SPECIES WERE OBSERVED ON THE PROPERTY.
- NO FLOODPLAIN IS LOCATED ONSITE.
- THERE ARE STEEP SLOPES WITH CONTIGUOUS AREAS OVER 20,000 SF LOCATED ONSITE.
- A WETLAND, FOREST STAND DELINEATION AND PRELIMINARY FOREST CONSERVATION PLAN REPORT WAS PERFORMED BY ECO-SCIENCE PROFESSIONALS, INC. DATED NOVEMBER 3, 2022 BY MR. BRODY MCALISTER - ISA CERTIFIED ARBORIST, CERT. ID. M64671A, MD DNR FCA QUALIFIED PROFESSIONAL.
 - AN UPDATE TO THE PLAN WAS COMPLETED IN XX 2025 ADDING THE TREES LOCATED IN OR NEAR THE 30' RIGHT-OF-WAY WHICH PROVIDES ACCESS TO THE PROJECT SITE.
- FOREST CONSERVATION EASEMENTS HAVE PRELIMINARILY BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE HOWARD COUNTY FOREST CONSERVATION MANUAL.
 - NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
 - TOTAL FOREST CONSERVATION OBLIGATION OF THIS PROJECT IS RETENTION OF 3.0 ACRES OF FOREST.
 - THIS PLAN PROVIDES 2.96 ACRES OF CREDITED FOREST RETENTION EASEMENT WITHIN OPEN SPACE OF LOT 8.
- THERE ARE NO WETLANDS, STREAMS OR THEIR BUFFERS WITHIN THE LIMIT OF DISTURBANCE.
- COLLEGE AVENUE IS A SCENIC ROAD, MINOR COLLECTOR / /
 - LOTS 2-6 WILL DERIVE ACCESS VIA THE EX. 30' RIGHT-OF-WAY (L257 F.386)
 - NEW CUT ROAD IS SCENIC ROAD, MINOR COLLECTOR.
 - NO CONNECTION OR IMPROVEMENTS ARE PROPOSED
- UTILIZE HOWARD COUNTY STANDARD DETAIL NO. R-6.06 AT COLLEGE AVENUE. THIS PORTION OF COLLEGE AVENUE IS AN OPEN SECTION ROADWAY WHERE THE FLOWLINE IS THE EDGE OF PAVEMENT. NO DRIVEWAY CULVERT IS PROPOSED.
 - PUBLIC TRASH AND RECYCLING COLLECTION WILL BE PROVIDED ALONG THE PUBLIC ROAD (COLLEGE AVENUE) WITHIN 5' OF THE EDGE OF THE ROADWAY.
- DRIVEWAYS(S) SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS.
 - A) WIDTH - 12 FEET (18 FEET SERVING MORE THAN ONE RESIDENCE)
 - B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1 1/2" MIN.)
 - C) GEOMETRY - MAXIMUM 1% GRADE, MAXIMUM 10% CHANGE AND MINIMUM OF 45-FOOT TURNING RADIUS.
 - D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING).
 - E) DRAINAGE ELEMENTS-CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 - F) STRUCTURE CLEARANCES-MINIMUM 12 FEET
 - G) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- THE PRE-SUBMISSION COMMUNITY MEETING WAS HELD FOR THIS PROJECT ON FEBRUARY 27, 2024 AT THE HOWARD COUNTY LIBRARY SYSTEM-MILLER BRANCH.
- IN ACCORDANCE WITH SECTION 16.121(A)(2) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, THE OPEN SPACE REQUIREMENTS FOR THIS R-ED PROJECT IS 50% OF GROSS AREA (7.33 AC. GROSS AREA X 50% = 3.67 AC.). SEE TABULATION HEREON.
- IN ACCORDANCE WITH SECTION 16.121(A)(4)(I) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, RECREATION OPEN SPACE IS NOT REQUIRED FOR THIS R-ED PROJECT WITH PROPOSED LESS THAN 10 RESIDENTIAL LOTS.
- THE ENVIRONMENTAL CONCEPT PLAN (ECP-23-047) WAS APPROVED ON AUGUST 15, 2024.
- THE TRAFFIC STUDY FOR THIS PROJECT, TITLED "NEW CUT ROAD SITE", WAS PREPARED BY THE TRAFFIC GROUP, INC., DATED APRIL 5, 2024 AND WAS APPROVED APRIL 6, 2026.
- THE PROPOSED UNITS SHALL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL. A FINANCIAL SURETY SHALL BE POSTED AS PART OF THE FUTURE FINAL PLAN DEVELOPER'S AGREEMENT FOR THE REQUIREMENT OF \$14,640 FOR THE REQUIRED 18 SHADE TREES (\$5,400), 128 SHRUBS (\$3,840), AND \$5,400 FOR 18 SPECIMEN TREE MITIGATION PLANTINGS).
 - PUBLIC STREET TREES AND TRASH PAD SHRUBS ARE PROVIDED FOR THIS PROJECT IN ACCORDANCE WITH SECTION 16.124(E)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL. A FINANCIAL SURETY IN THE AMOUNT OF \$,750 SHALL BE POSTED AS PART OF THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS COST ESTIMATE.
- IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME 3, CHAPTER 2 - SECTION 2.9.B. AND THE HOWARD COUNTY ZONING REGULATIONS SECTION 13.3.0.2.2, OFF-STREET PARKING IS REQUIRED AT 2.0 SPACES PER UNIT. VISITOR PARKING IS REQUIRED AT 0.5 SPACES PER UNIT. SEE TABULATION HEREON. OFF STREET PARKING TO INCLUDE GARAGE SPACES, DRIVEWAY AND PARKING PADS. GARAGES COUNT AS SPACES. SEE TABULATION THIS SHEET.
- ALL WATER CONNECTIONS SHALL BE 1.5" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAIL W-3.28 OUTSIDE METER SETTINGS.
- IN ACCORDANCE WITH SECTION 107.0.E OF THE 10/06/13 COMPREHENSIVE ZONING REGULATIONS, THIS SUBDIVISION IS SUBJECT TO MODERATE INCOME HOUSING UNITS.
 - A MIHU AGREEMENT AND MIHU COVENANTS WILL BE REQUIRED IN ACCORDANCE WITH SECTION 13.4.02 OF THE HOWARD COUNTY CODE. THE MIHU REQUIREMENTS FOR THIS SUBDIVISION WILL BE 1 UNIT (10% OF 5 UNITS).
 - ALL LOTS/RESIDENTIAL UNITS IN THIS SUBDIVISION (LOTS 2-6) ARE SUBJECT TO THE MIHU FEE-IN-LIEU REQUIREMENT THAT IS TO BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT THE TIME OF BUILDING PERMIT ISSUANCE BY THE PERMIT APPLICANT.
 - THE MIHU AGREEMENT WILL BE RECORDED IN THE LAND RECORDS OF HOWARD COUNTY WITH THE RECORDING OF THE FUTURE FINAL PLAT.
- A PRIVATE RANGE OF ADDRESS SIGN ASSEMBLY SHALL BE FABRICATED AND INSTALLED BY HOWARD COUNTY BUREAU OF HIGHWAYS AT THE DEVELOPERS/OWNERS EXPENSE. CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-3113-5752 FOR DETAILS AND COST ESTIMATES.
- A GEOTECHNICAL INVESTIGATION WAS COMPLETED BY FROCHUNG & ROBERTSON, INC. AND SUMMARIZED IN THE REPORT TITLED "REPORT OF GEOTECHNICAL STUDY" DATED MARCH 29, 2024. BORINGS / TEST PITS WERE COMPLETED FOR THE ESD STORMWATER MANAGEMENT FACILITIES AND PROJECT RETAINING WALLS.
- TRAFFIC CONTROL DEVICES:
 - A. THE RT-(STOP) SIGN AND STREET NAME SIGN (SNS) ASSEMBLIES FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETE.
 - B. THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-3113-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
 - C. ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
 - D. ALL SIGN POST USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, "QUICK PUNCH" SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE, 3" LONG). THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON THE TOP OF EACH POST.
- THE FOLLOWING STANDARDS (CONSTRUCTION AND TEMPORARY TRAFFIC CONTROL) ARE REQUIRED FOR THIS PROJECT:
 - o. MD-104.02-02 - SHOULDER WORK/2 LANE, 2 WAY - EOL/LESS THAN 40 MPH
 - o. FOR ALL STANDARDS REFERRED TO ON THIS PLAN THE CONTRACTOR MUST GO TO THE BOOK OF STANDARDS WHICH WILL HAVE THE MOST CURRENT VERSION. THE BOOK OF STANDARDS CAN BE ACCESSSED AT:
HTTP://APPS.ROADS.MARYLAND.GOV/BUSINESSWITHSHA/BUZ3TDSPEC/DESMANUALSDPUB/UPUBLICATIONSONLINE/DND/BOOKSTD/INDEXASP
ALL ITEMS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT VERSION OF THE REFERENCED STANDARD AT THE TIME OF CONSTRUCTION.

OPEN SPACE TABULATION:

IN ACCORDANCE WITH SECTION 16.121(A)(2) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS THE OPEN SPACE REQUIRED FOR THIS R-ED PROJECT IS 50% OF GROSS AREA (7.33 AC. GROSS AREA X 50% = 3.67 AC.)

TOTAL REQUIRED: 3.67 AC
TOTAL PROVIDED: 4.39 AC

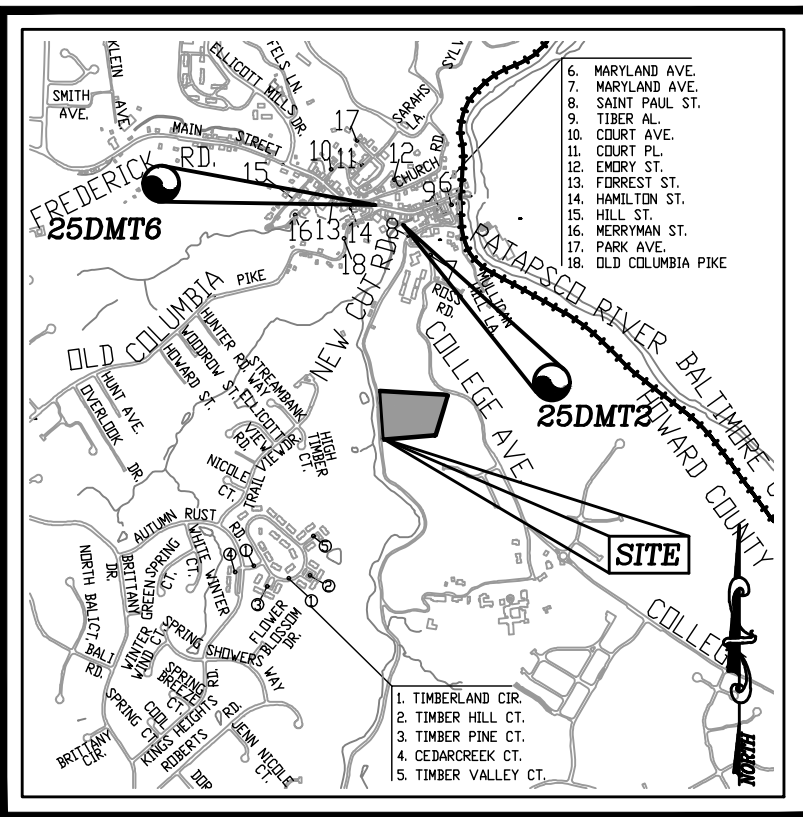
PRELIMINARY EQUIVALENT SKETCH PLAN
TIMBER WOODS

LOTS 1-6 AND OPEN SPACE LOTS 7&8
PARCEL 50 (L.2011 / F.35) AND
A RESUBDIVISION OF SWEARER PROPERTY LOT 2 - PLAT 5347

NEW CUT ROAD
ELLCOTT CITY, MARYLAND 21043

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- RIGHT-OF-WAY LINE
- EXISTING CONTOUR
- EXISTING TREELINE
- EXISTING EDGE OF PAVING



VICINITY MAP

SCALE: 1"=200'
ADC MAP/GRID NO. 4816/C9

SHEET INDEX

DESCRIPTION	SHEET NO.
COVER SHEET	1 OF 12
EXISTING CONDITIONS PLAN	2 OF 12
PRELIMINARY SITE LAYOUT PLAN	3 OF 12
PRELIMINARY SITE DETAILS	4 OF 12
PRELIMINARY GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN	5 OF 12
PRELIMINARY STORM DRAIN - DRAINAGE AREA MAP	6 OF 12
PRELIMINARY LANDSCAPE PLAN, NOTES AND DETAILS	7 OF 12
PRELIMINARY FOREST CONSERVATION PLAN, NOTES AND DETAILS	8 OF 12
PRELIMINARY ESD STORMWATER MANAGEMENT - DRAINAGE AREA MAP	9 OF 12
PRELIMINARY ESD STORMWATER MANAGEMENT NOTES AND DETAILS	10 OF 12
CR-123-2019 QUANTITY MANAGEMENT PRE AND POST DEVELOPMENT CONDITION DRAINAGE AREA MAPS	11 OF 12
CR-123-2019 NOTES & DETAILS	12 OF 12

HOWARD COUNTY
P. 38 LOT 108
4293 F.222
PLAT 10362
ZONED R-ED
USE: VACANT

OPEN SPACE LOT 108
PLANS 10378-10385

NEW CUT ROAD
MINOR COLLECTOR & SCENIC ROAD
NO IMPROVEMENTS PROPOSED

HISTORIC ELLCOTT PROPERTIES, INC.
TM 25 PARCEL 50
L. 2011 F. 35 (1988)
ZONED R-ED
USE: UNDEVELOPED RESIDENTIAL

OPEN SPACE LOT 8
TO BE CONVEYED TO THE
DEPARTMENT OF RECREATION AND PARKS

PROJECT AREA

N/F
TM 25 P 63
HO CHING AND SANDY YUNG
L. 21055 F. 198

N/F
TM 25 - P 51
L 17521 F. 57

N/F
GEORGE J III AND
AVA M. FARMER
TM 25 P84
L. 5723 / F. 422

N/F
AVA P FARMER AND
GEORGE J. FARMER, III
TM 25 P. 52
L.2042 F. 495

N/F
WAYNE A. LAWSON
AND OLGA V NAIDENKO
TM 25 P. 54
L. 19137 F. 114

EX. PRIVATE 30'
COLLIEGE-OF-WAY L257
F.386

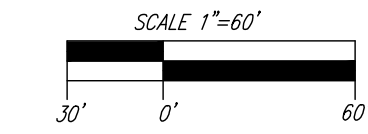
30' RIGHT OF WAY
L. 272 F. 466

30' RIGHT OF WAY
L. 245 F. 283

30' R/W
ALONG THE
576'01'00"W-80FT

LOCATION MAP

SCALE: 1"=60'



SITE DATA

- TOTAL PROJECT AREA: 6.9882 AC.
- AREA OF PLAN SUBMISSION: 7.34 AC
- PROJECT SITE
 - EX 30' R/W (L.257 - F.386) = 6.9882 AC
 - = 0.35 AC
- AREA OF WETLANDS AND BUFFERS: 0.00 AC
- AREA OF 100 YEAR FLOODPLAIN: 0.00 AC (WITHIN PROJECT SITE)
- AREA OF FOREST: 5.7 AC (WITHIN PROJECT SITE)
- AREA OF STEEP SLOPES (15% OR GREATER): 1.61 AC WITHIN PROJECT SITE
- AREA OF STEEP SLOPES (25% OR GREATER): 3.50 AC WITHIN PROJECT SITE (FOR AREAS MORE THAN 20,000 SQ.FT. PER Sec.16.116 (1)(b))
- AREA OF ERODIBLE SOILS: 2.73 AC (INSIDE OF LOD FOR SLOPES GREATER THAN 15%)
- LIMIT OF DISTURBANCE: 3.25 AC
- PROJECT SITE
 - EX 30' R/W (L.257 - F.386) = 2.84 AC
 - = 0.35 AC
- PROPOSED USES FOR SITE AND STRUCTURES: SINGLE FAMILY DETACHED
- J. GREEN OPEN AREA: 6.18 AC, WITHIN PROJECT SITE
- K. PROPOSED IMPERVIOUS AREA: 0.8 AC, WITHIN PROJECT SITE
- L. PRESENT ZONING DESIGNATION: R-ED
- M. TOTAL NUMBER OF UNITS ALLOWED: 6 (6.98-3.5 = 3.48 x 2 = 6.96)
- N. TOTAL NUMBER OF UNITS PROPOSED: 6 (5 PROPOSED, 1 EX. TO REMAIN)
- O. DPZ FILE REFERENCES: SEE NOTE 24

PARKING TABULATION:

SINGLE FAMILY DETACHED (SFD) = 6 LOTS (1 EXISTING TO REMAIN)
TOTAL NUMBER OF DWELLING UNITS PROPOSED : 5

- OFF-STREET PARKING REQUIRED:
 - 2 SPACES PER UNIT = 6 x 2 = 12
 - VISITOR PARKING REQUIRED:
 - SFD = 5 UNITS @ 0.5 SPACES PER UNIT
 - 6 x 0.5 = 3 SPACES REQUIRED
- TOTAL OFF STREET PARKING REQUIRED: 15

SFD = 2 GARAGE / 2 DRIVEWAY
2 SPACES IN GARAGE = 12 SPACES (FOR 6 UNITS*)
2 SPACES ON DRIVEWAY = 12 SPACES (FOR 6 UNITS)

TOTAL OFF STREET PARKING SPACES PROVIDED: 24 OFF-STREET

* EXISTING HOME HAS A 2-CAR GARAGE

MODERATE INCOME HOUSING UNITS (MIHU) ALL ALLOCATION EXEMPTIONS TRACKING	
Total Number of Lots/Units Proposed	6 SFD UNITS, 1 EX TO REMAIN
Number of MIHU Required	1 SFD (5 X 10% = 0.5)
Number of MIHU Provided Onsite (except from APFO allocations)	0
Number of APFO Allocations Required (reusing lots/units)	4*
MIHU Fee-In-Lieu (indicate lot/unit numbers)	LOTS 2-6

* TWO CREDITS FOR THE TWO (2) EXISTING HOMES / LOTS

MIHU AGREEMENT

PLEASE NOTE THAT ALL NEW LOTS/RESIDENTIAL UNITS IN THIS SUBDIVISION (LOTS 2-6) ARE SUBJECT TO THE MIHU FEE-IN-LIEU REQUIREMENT THAT IS TO BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT THE TIME OF BUILDING PERMIT ISSUANCE BY THE PERMIT APPLICANT.

SUMMARY OF FINDINGS FOR APFO TRAFFIC ANALYSIS:

- DATE OF REPORT: APRIL 5, 2024
- DATE OF COUNT(S): 12/25/2023
- REPORT SUBMITTED AS PART OF PLAN NUMBER: SDP-24-003
- PROVIDE STATEMENT THAT SCHOOLS WERE IN SESSION ON THAT DATE(S).
SCHOOLS WERE IN SESSION DURING ALL COUNTS
- LIST INTERSECTIONS STUDIED; IDENTIFY INTERSECTION AS STATE OR COUNTY JURISDICTION, AND LABEL LOS FOR THE HORIZON YEAR OF EACH INTERSECTION:
MAIN STREET AT OLD COLUMBIA PIKE, COUNTY, 2027 DESIGN YEAR
LOS B AM & LOS B PM
- PROVIDE STATEMENT AS TO WHETHER MITIGATION IS REQUIRED AND EXPLAIN THE METHOD OF MITIGATION/IN LIEU FEE. NO MITIGATION REQUIRED

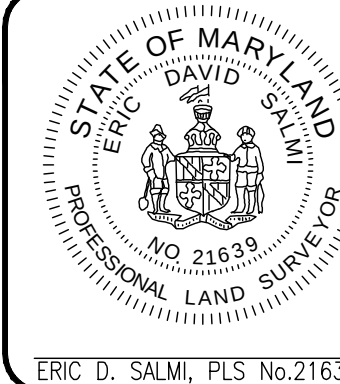
TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

APPROVED
PLANNING BOARD OF HOWARD COUNTY

PB # XXX
XX XX, 2026
DATE

PLANNING DIRECTOR

DATE



DESIGN BY: EXSITE
DRAWN BY: EDS
CHECKED BY: EXSITE
DATE: JULY 2026
SCALE: AS SHOWN
W.O. NO.: 25-010

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21639 EXPIRATION DATE: 01-03-2028

1 SHEET OF 12

ERIC D. SALMI, PLS No.21639

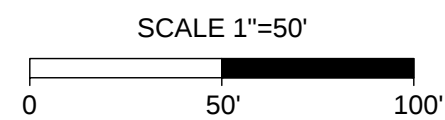


LEGEND:

---	PROPERTY LINE	SS	EXISTING SANITARY SEWER	GgC (B)	SOIL TYPE
---	ADJACENT PROPERTY LINE	---	EXISTING SEWER CLEANOUT	GnB (C)	---
---	RIGHT-OF-WAY LINE	W	EXISTING WATER	FSO	FOREST STAND DELINEATION ZONES
---	EXISTING CONTOUR	OHP	EXISTING POWER OVERHEAD	SEE WETLAND AND FOREST STAND DELINEATION PLAN	
---	EXISTING TREE	---	EXISTING POLE		
---	EXISTING TREE LINE	---	EXISTING GUY-WIRE		
---	EXISTING EDGE OF PAVING	---	FLOOD PLAIN OFFSITE		
---	EXISTING TREE	---	EX. PAVING		
---	EXISTING SPECIMEN TREE 30"	---	EX. PRIVATE RIGHT -OF-WAY		
---	CRITICAL ROOT ZONE	---	L. 257 F. 386		
---	EXISTING UTILITY	---	STEEP SLOPES		
---	EXISTING FENCE	---	(15% - 24.99%)		

EXISTING CONDITIONS PLAN

SCALE: 1"=50'



SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	Kw RANGE	HIGHLY ERODIBLE
GnB	GLENVILLE-CODORUS - SILT LOAM - 0 TO 8 PERCENT SLOPES	C	NO	0.32	NO
MdD	MAJOR LOAM - 15 TO 25 PERCENT SLOPES, VERY ROCKY	B	NO	0.28	YES
MdF	MAJOR-FAIRBANKS SANDY LOAM - 25 TO 45 PERCENT SLOPES, ROCKY	B	NO	0.24	YES
LmB	LEGOSSE-MONTAIGNE - SILT LOAM - 3 TO 8 PERCENT SLOPES	C	NO	0.64	YES
LmC	LEGOSSE SILT LOAM - 8 TO 15 PERCENT SLOPES, STONY	C	NO	0.64	YES

TAKEN FROM: USDA, SCS-WEB SOIL SURVEY, HOWARD COUNTY
K VALUES TAKEN FROM <https://www.howardscd.org/documents> - "K" FACTORS (USE "KW")

NOTE:
HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT
OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT

GENERAL NOTES

CONTINUED:

41. THIS PROJECT IS SUBJECT TO WP-26-004.

ON NOVEMBER 7, 2025 AND PURSUANT TO SECTION 16.116(D), THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND ZONING, DIRECTOR OF THE DEPARTMENT OF PUBLIC WORKS, AND ADMINISTRATOR OF THE OFFICE OF COMMUNITY SUSTAINABILITY CONSIDERED AND APPROVED YOUR REQUEST FOR ALTERNATIVE COMPLIANCE WITH RESPECT TO SECTION 16.116(B)(1) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO DISTURB TWO AREAS OF STEEP SLOPES (561 SF AND 10,760 SF).

APPROVAL OF ALTERNATIVE COMPLIANCE OF SECTION 16.116(B)(1) IS SUBJECT TO THE FOLLOWING CONDITIONS:
1. NO DISTURBANCE IS PERMITTED BEYOND THE 0.26-ACRES OF STEEP SLOPES DISTURBANCE AS SHOWN ON THE ALTERNATIVE COMPLIANCE EXHIBIT UNLESS IT CAN BE SUFFICIENTLY DEMONSTRATED BY THE APPLICANT TO BE JUSTIFIED.
2. INCLUDE A NOTE ON ALL PLAN SUBMISSION THAT DESCRIBES THIS APPLICATION, WP-26-004, THE REQUEST, REVIEWED BY THE DIRECTORS OF THE DEPARTMENT OF PLANNING AND ZONING, THE ADMINISTRATOR OF THE OFFICE OF COMMUNITY SUSTAINABILITY, AND THE DIRECTOR OF THE DEPARTMENT OF PUBLIC WORKS, DECISION, DECISION DATE AND LIST CONDITIONS OF APPROVAL.

ON NOVEMBER 6, 2025 AND PURSUANT TO SECTION 16.1216, THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND ZONING, DIRECTOR OF THE RECREATION AND PARKS, AND ADMINISTRATOR OF THE OFFICE OF COMMUNITY SUSTAINABILITY CONSIDERED AND APPROVED YOUR REQUEST FOR A VARIANCE WITH RESPECT TO SECTION 16.1205(A)(1) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REMOVE 9 OF 34 SPECIMEN TREES.

APPROVAL OF ALTERNATIVE COMPLIANCE OF SECTION 16.1205(A)(1) IS SUBJECT TO THE FOLLOWING CONDITIONS:
1. APPROVAL IS FOR REMOVAL OF SPECIMEN TREES 4, 5, 26, 29, 30, 34, 32, X10, AND X13 ONLY AND SHALL BE MITIGATED WITH THE PLANTING OF 18 NATIVE SHADE TREES MEETING 3" DBH. THE MITIGATION TREES SHALL BE PLACED IN THE OPEN SPACE LOT AND CLEARLY BE SHOWN ON THE PLANS TO BE PRESERVED.
2. INCLUDE A NOTE ON ALL PLAN SUBMISSION THAT DESCRIBES THIS APPLICATION, WP-26-004, THE REQUEST, REVIEWED BY THE DIRECTORS OF THE DEPARTMENT OF PLANNING AND ZONING, THE ADMINISTRATOR OF THE OFFICE OF COMMUNITY SUSTAINABILITY, AND THE DIRECTOR OF THE DEPARTMENT OF RECREATION AND PARKS, DECISION, DECISION DATE AND LIST CONDITIONS OF APPROVAL.

3. PLANS SHALL INCLUDE PRE-CONSTRUCTION, CONSTRUCTION, AND POST CONSTRUCTION TREE PROTECTION DETAILS TO PROTECT SPECIMEN TREES 32, 36, 48, 22, 12 AND 11 TO MINIMIZE IMPACTS AND IMPROVE THE HEALTH AND ULTIMATE SURVIVABILITY OF THESE TREES. PROTECTION METHODS AND DETAILS SHALL BE PREPARED BY A LICENSED ARBORIST OR LANDSCAPE ARCHITECT AND BE MORE THAN STANDARD TREE PROTECTION FENCING AT THE LOD.

ON OCTOBER 15, 2025 AND PURSUANT TO SECTION 16.104, THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND ZONING CONSIDERED AND APPROVED YOUR REQUEST FOR ALTERNATIVE COMPLIANCE WITH RESPECT TO SECTION 16.120(C)(2) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO PROVIDE ACCESS THROUGH AN EXISTING PRIVATE 30' RIGHT-OF-WAY TO COLLEGE AVENUE.

APPROVAL OF THIS ALTERNATIVE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
1. ACCESS TO THE DRIVEWAY WITHIN THE PRIVATE 30'-FOOT RIGHT-OF-WAY MAY ONLY BE GRANTED IF THE LOT HAS LEGAL RIGHTS TO USE THE OFF-SITE RIGHT-OF-WAY FOR ACCESS TO COLLEGE AVENUE.
2. THE TIMBER WOODS SUBDIVISION LOTS 1-8 HMA SHALL BE RESPONSIBLE FOR THE CONSTRUCTION AND MAINTENANCE OF THE SHARED DRIVEWAY FOR THE BENEFIT OF ALL USERS.
3. COMPLIANCE WITH ALL SUBDIVISION REVIEW COMMITTEE COMMENTS FOR SP-24-003 TIMBER WOODS.
4. APPROVAL OF ALTERNATIVE COMPLIANCE TO SECTION 16.120(C)(2) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS SHALL NOT BE CONSIDERED AS APPROVAL FOR RELIEF OF ANY OTHER REGULATIONS NECESSARY FOR THE DEVELOPMENT TO BE APPROVED.

42. -THIS PROJECT IS SUBJECT TO A DESIGN MANUAL WAVE TO DESIGN MANUAL, VOLUME II, SECTION 2.5.B TO ALLOW A 13 USERS ON A USE-IN-COMMON DRIVEWAY INSTEAD OF 6 USERS PER SECTION 2.5.B. THIS REQUEST WAS EVALUATED BASED ON SITE SPECIFIC CONSTRAINTS. THE EXISTING ACCESS EASEMENT IS LIMITED TO 30' WIDTH WHICH IS NOT SUFFICIENT FOR A PUBLIC ROADWAY. THE INTENT OF THIS APPROVAL IS TO PROVIDE RELIEF, AS NEEDED, BASED ON THE SITE CONSTRAINTS WHILE STILL ENSURING SAFE AND ADEQUATE ACCESS FOR ALL USERS.

APPROVED SUBJECT TO THE FOLLOWING COMMENTS:
1. APPROVAL IS SUBJECT TO PROVIDING 20' PAVEMENT WIDTH AS SHOWN ON DESIGN MANUAL WAVE EXHIBIT UP TO STATION 1+75.
2. APPROVAL OF THE WAVE DOES NOT OVERRULE ANY REQUIRED TURN-AROUND OR ALIGNMENT REQUESTS BY FIRE AND RESCUE SERVICES.
3. APPLICANT MUST CONFIRM ALL LEGAL RIGHTS TO ACCESS THE EXISTING RIGHT-OF-WAY.
4. APPLICANT MUST CONFIRM ALL LEGAL RIGHTS TO DO IMPROVEMENTS WITHIN THE EXISTING RIGHT-OF-WAY.
5. PROVIDE ENOUGH SPACE FOR ADEQUATE TURN COLLECTION FOR 13 USERS.

OWNER P.49

COLLEGE HOUSE LLC
8 PARK CENTER CT, STE 200
OWINGS MILLS, MD, 21117
TEL: 410-465-1950

OWNER / DEVELOPER P.50

HISTORIC ELLICOTT PROPERTIES
8 PARK CENTER CT, STE 200
OWINGS MILLS, MD, 21117
TEL: 410-465-1950

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN

EXISTING CONDITIONS PLAN

TIMBER WOODS

LOTS 1-8 AND OPEN SPACE LOTS 7&8

PARCEL 50 (L2011 F.35) AND

A RESUBDIVISION OF SWEARER PROPERTY LOT 2 - PLAT 5347

NEW CUT ROAD

ELLICOTT CITY, MARYLAND 21043

ZONED: R-ED

TAX MAP 25 GRID 14

2ND ELECTION DISTRICT

PARCEL 49 (LOT2) & 50

HOWARD COUNTY, MARYLAND

ELLICOTT CITY, MARYLAND 21043

ZONED: R-ED

ELLICOTT CITY, MARYLAND 21043

ZONED: R-ED

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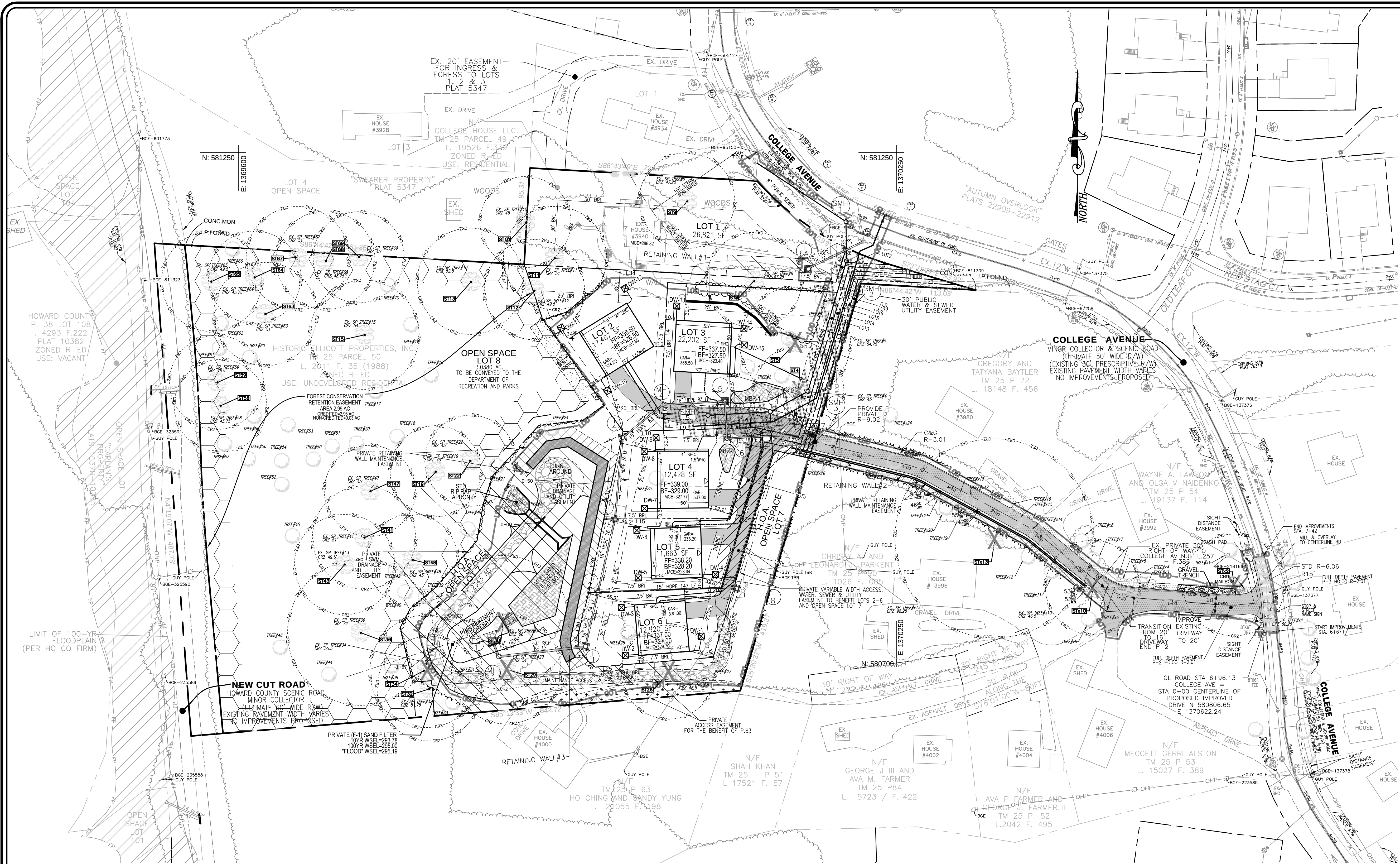
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W.O. NO.: 25-010

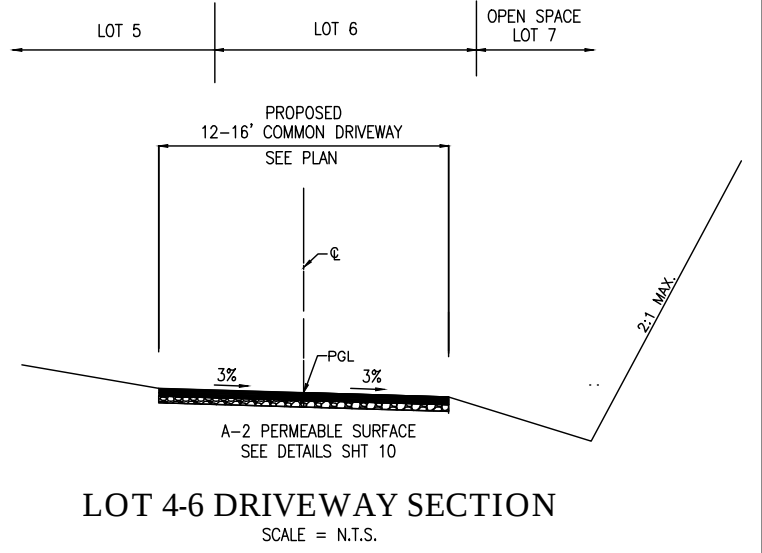
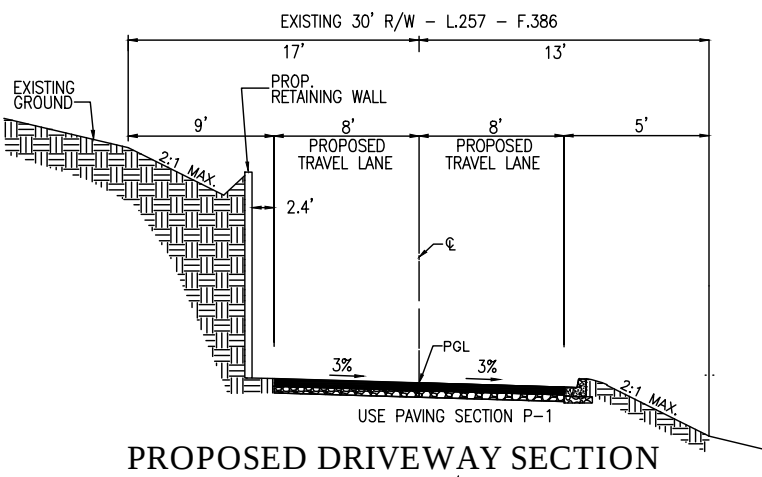
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LAND SURVEYOR UNDER THE LAWS OF THE
STATE OF MARYLAND, LICENSE NO. 21639
EXPIRATION DATE: 01-03-2028

2 SHEET OF 12

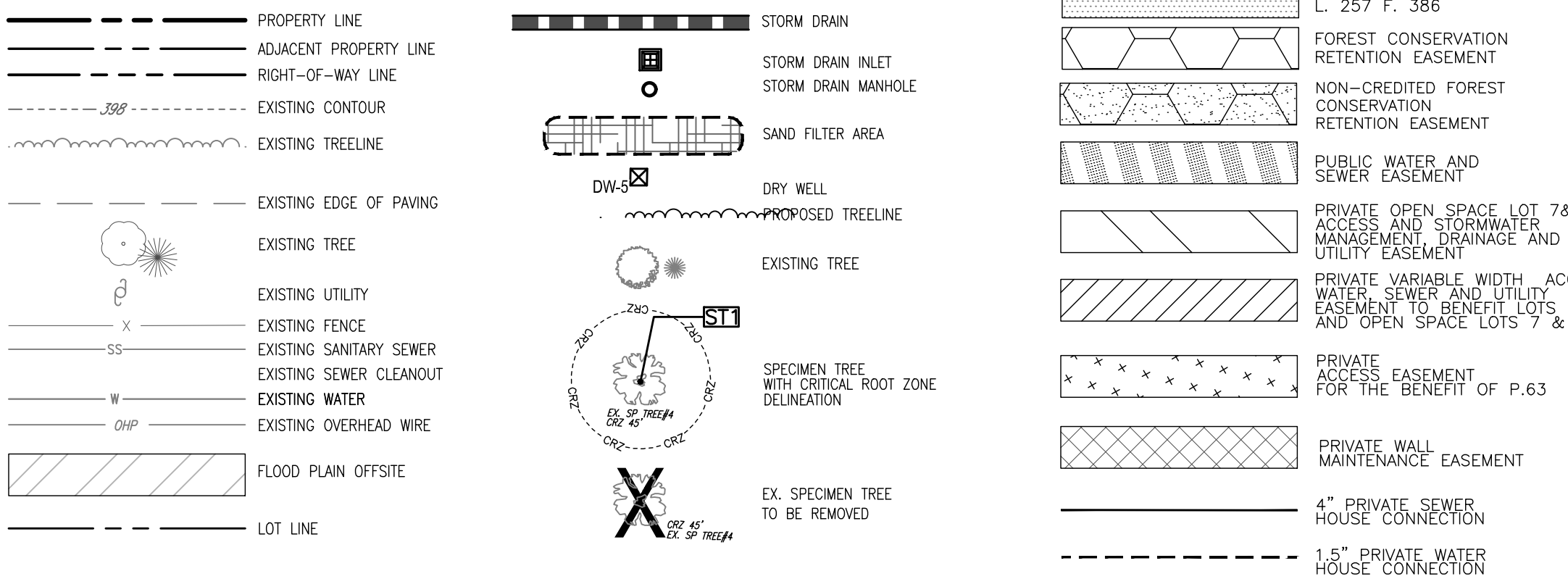
ERIC D. SALMI, PLS No.21639



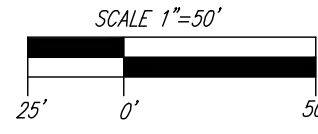
LINE TABLE					
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	45.05	S86°44'42"E	L20	130.94	N87°57'50"E
L3	167.76	S86°44'42"E	L21	99.44	S86°44'42"E
L4	99.00	N3°05'07"E	L22	183.20	N16°30'37"E
L5	46.94	S1°44'12"E	L23	31.08	S77°32'56"E
L6	58.65	S86°44'42"E	L24	213.09	S16°30'37"W
L7	175.51	N16°30'37"E	L25	117.01	S85°17'01"W
L8	43.58	S77°32'56"E	L26	10.20	S49°36'49"E
L9	90.70	N88°15'48"E	L27	14.26	S35°33'13"E
L10	39.99	N88°15'48"E	L28	13.99	S2°54'45"E
L11	72.25	S86°44'42"E	L29	42.73	S14°02'07"W
L12	178.07	N16°30'37"E	L30	74.14	S11°36'56"W
L13	47.12	S77°32'56"E	L31	88.36	S12°25'17"W
L14	87.69	N16°30'37"E	L32	137.04	S35°36'58"E
L15	123.72	N89°51'19"E	L33	56.59	S18°32'45"E
L16	85.84	S86°44'42"E	L34	308.48	S86°44'42"E
L17	180.63	N16°30'37"E	L35	35.29	N16°30'37"E
L18	39.10	N77°32'56"W	L2	30.82	N16°30'37"E
L19	150.19	S16°30'37"W			



LEGEND:



LAYOUT PLAN
SCALE: 1"=50'



MINIMUM LOT SIZE CHART				
LOT	GROSS AREA	PIPESTEM AREA	NET AREA	MIN. LOT SIZE
(EX. LOT 2 PARCEL 49)	26,821 SF	0 SF	26,821 SF	6,000 SF
2	17,467 SF	2,092 SF	15,375 SF	6,000 SF
3	22,202 SF	324 SF	21,877 SF	6,000 SF
4	12,428 SF	1,241 SF	11,187 SF	6,000 SF
5	11,663 SF	2,314 SF	9,349 SF	6,000 SF
6	12,920 SF	3,080 SF	9,840 SF	6,000 SF
O.S. 7	53,764 SF	1,151 SF	52,613 SF	6,000 SF

TENTATIVELY APPROVED
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HOWARD COUNTY

APPROVED
PLANNING BOARD OF HOWARD COUNTY

PB # XXX
XX XX, 2026
DATE

PLANNING DIRECTOR _____ DATE _____

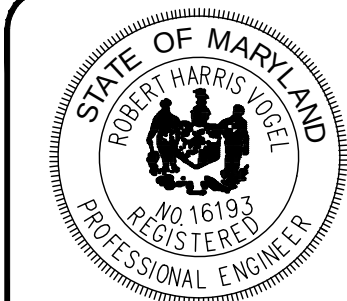
OWNER P.49
COLLEGE HOUSE LLC
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OWINGS MILLS, MD. 21117
TEL: 410-465-1950

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PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY LAYOUT PLAN
TIMBER WOODS
LOTS 1-8 AND OPEN SPACE LOTS 7&8
PARCEL 50 (L 2011 F 35) AND
A RESUBDIVISION OF SWEARER PROPERTY LOT 2 - PLAT 5347
NEW CUT ROAD
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ZONED: R-ED
PARCEL 49 (LOT 2) & 50
HOWARD COUNTY, MARYLAND

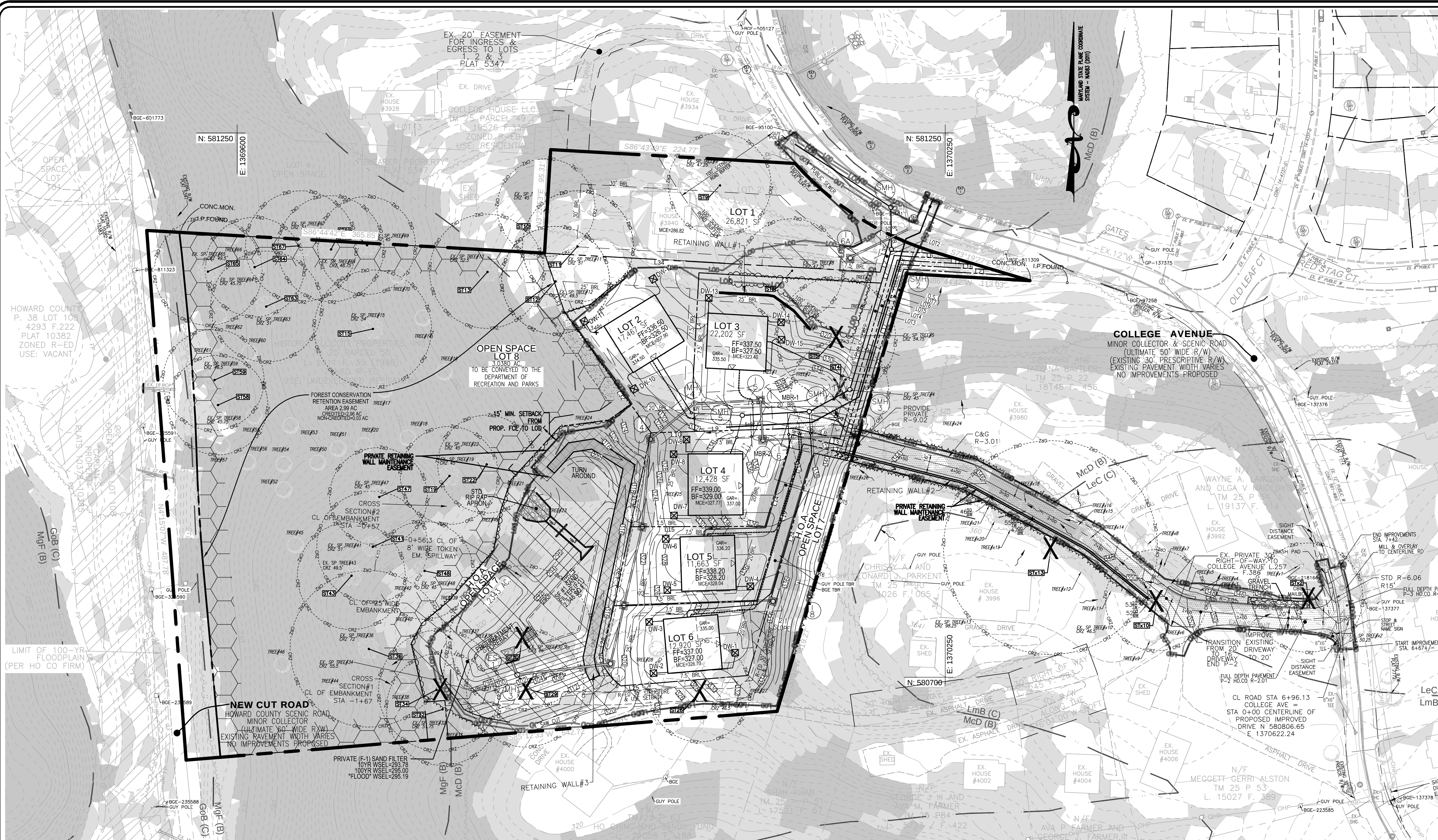
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8165 Cypress Cedar Lane - Suite 201
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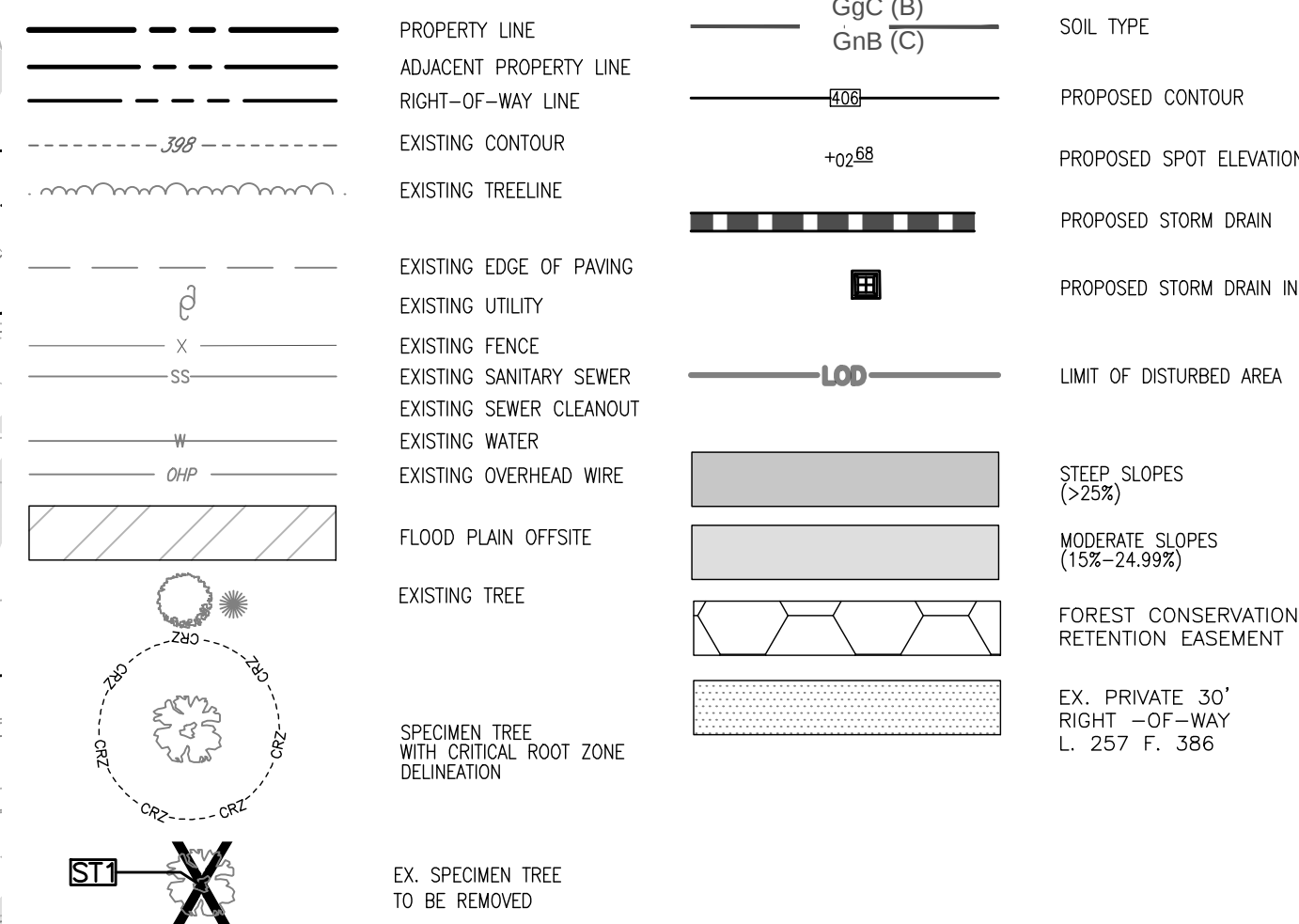
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EXPIRATION DATE: 07-27-2028

3 SHEET OF 12



LEGEND:



MAPPED SOILS TYPES - HOWARD COUNTY, MARYLAND					
SYMBOL	NAME / DESCRIPTION	GROUP	HYDRC	Kw RANGE*	HIGHLY ERODIBLE
GgB	GENWILE-CODORUS - SILT LOAM - 0 TO 8 PERCENT SLOPES	C	NO	0.32	NO
GdC	MAJOR LOAM - 15 TO 25 PERCENT SLOPES, VERY ROCKY	B	NO	0.28	YES
MfB	MANOR-BANNERTOWN SANDY LOAMS - 25 TO 65 PERCENT SLOPES, ROCKY	B	NO	0.24	YES
LmB	LEGORE-MONTALTO - SILT LOAM - 3 TO 8 PERCENT SLOPES	C	NO	0.64	YES
LmC	LEGORE SILT LOAM - 8 TO 15 PERCENT SLOPES, STONY	C	NO	0.64	YES

TAKEN FROM: USDA, SCS-Web Soil Survey, HOWARD COUNTY, K VALUES TAKEN FROM <https://www.howardscd.org/documents> - "K" VALUES (USE KW)

NOTE: HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT

HSCD NOTES:

APPROVAL OF THIS PRELIMINARY GRADING PLAN BY THE HOWARD SOIL CONSERVATION DISTRICT DOES NOT GRANT APPROVAL OF A PROPOSED SEDIMENT CONTROL SCHEME.

1. THE FINAL PLAN SHALL INCLUDE A SEQUENCE OF CONSTRUCTION WHICH SHALL DETAIL SEDIMENT & EROSION CONTROLS AND PHASING (IF APPLICABLE).
2. THE PROJECT SHALL ADDRESS ANY TEMPORARY STORMWATER MANAGEMENT REQUIREMENTS.
3. THE FINAL PLAN SUBMISSION SHALL PROVIDE A DRAINAGE AREA MAP(S) SPECIFIC TO CHOSEN SEDIMENT CONTROLS.
4. THE FINAL PLAN SUBMISSION SHALL PROVIDE COMPUTATIONS TO VERIFY VELOCITIES ALONG DIKES, SWALES AND AT DIKES OUTLET LOCATIONS.

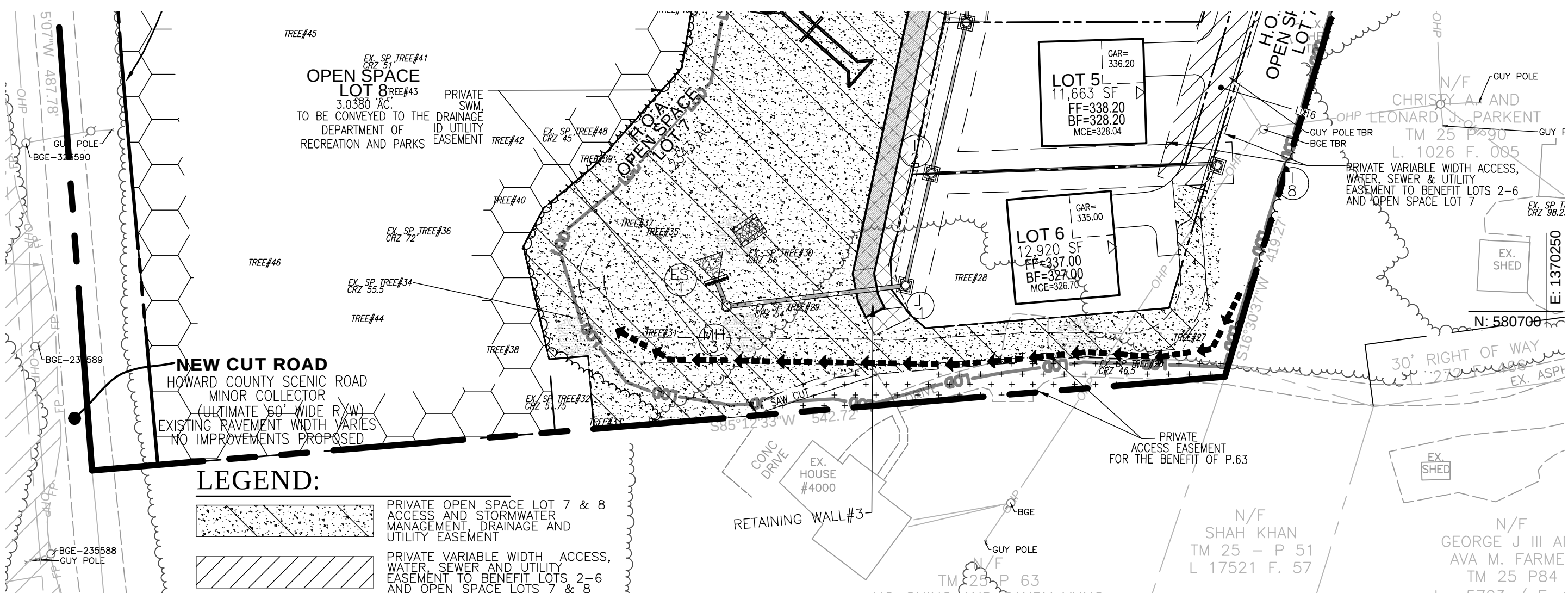
SCALE 1"=50'

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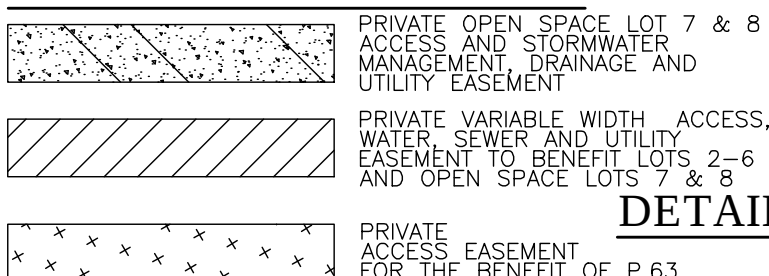
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HISTORIC ELLICOTT PROPERTIES
8 PARK CENTER CT, STE 200
OWINGS MILLS, MD, 21117
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PRELIMINARY GRADING PLAN

SCALE: 1"=50'



LEGEND:



DETAIL OF ACCESS EASEMENT FOR OPEN SPACE LOTS 7 & 8

SCALE: 1"=50'

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

APPROVED
PLANNING BOARD OF HOWARD COUNTY

PB # XXX
XX XX, 2026
DATE

PLANNING DIRECTOR DATE

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY GRADING PLAN
TIMBER WOODS
LOTS 1-6 AND OPEN SPACE LOTS 7&8
PARCEL 50 (IL 2011 F. 39) AND
A RESUBDIVISION OF SWEAVER PROPERTY LOT 2- PLAT 5347
NEW CUT ROAD
ELLICOTT CITY, MARYLAND 21043
ZONED: R-ED
TAX MAP 25 GRID 14
2ND ELECTION DISTRICT

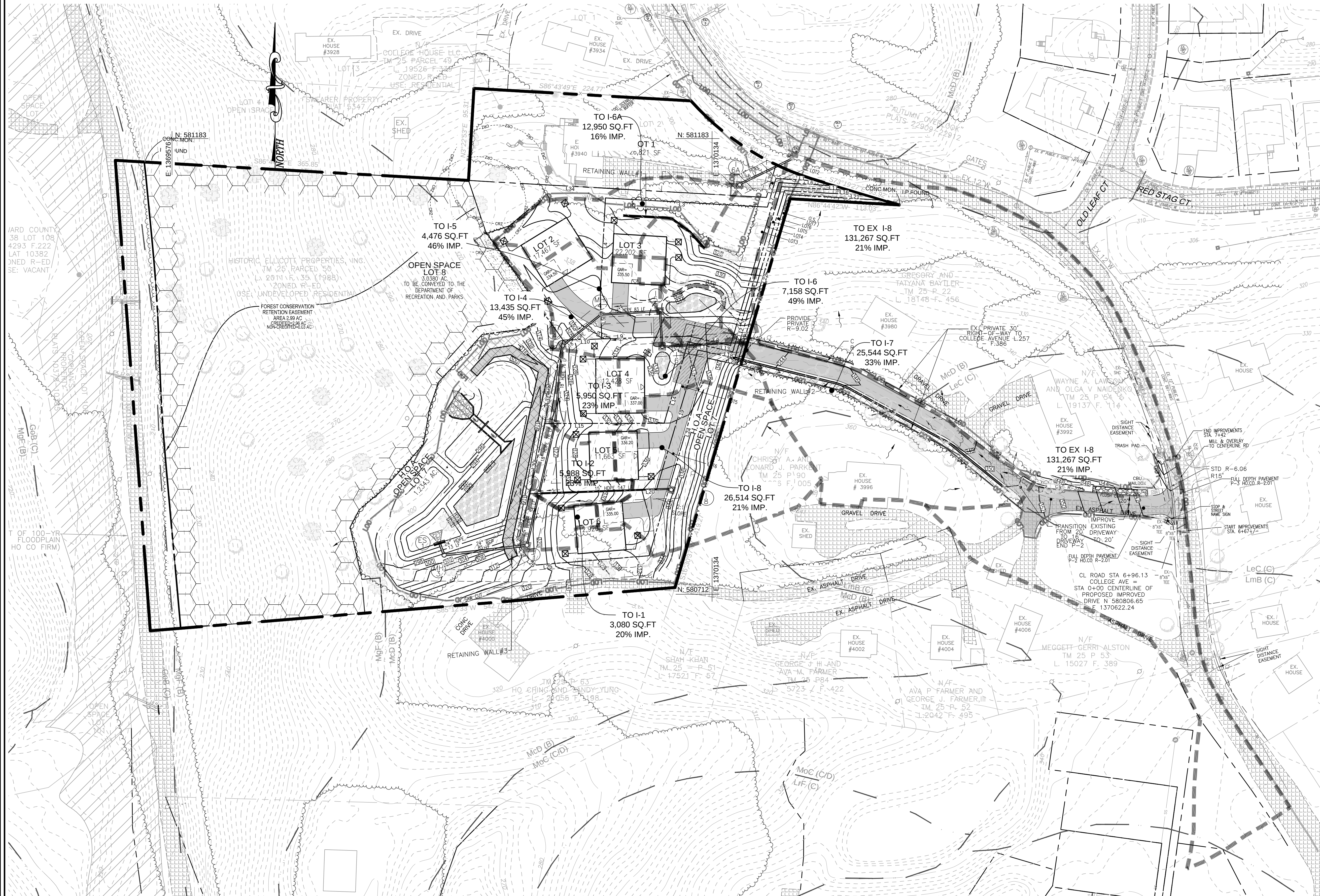
EXSITE
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5 SHEET OF 12



- LEGEND:**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING SPOT ELEVATION
 - EXISTING TREELINE
 - PROPOSED TREELINE
 - EXISTING EDGE OF PAVING

- EXISTING SPECIMEN TREE W/ CRITICAL ROOT ZONE
- EXISTING TREE
- EXISTING UTILITY
- EXISTING FENCE
- EXISTING SANITARY SEWER
- EXISTING SEWER CLEANOUT
- EXISTING WATER
- EXISTING OVERHEAD WIRE
- PROPERTY LINE TO BE ABANDONED
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- RIGHT-OF-WAY LINE
- FLOOD PLAIN OFFSITE

- GgC (B)
- GnB (C)
- PROPOSED PAVING
- EX. PAVING
- STORM DRAIN DRAINAGE AREA DIVIDE

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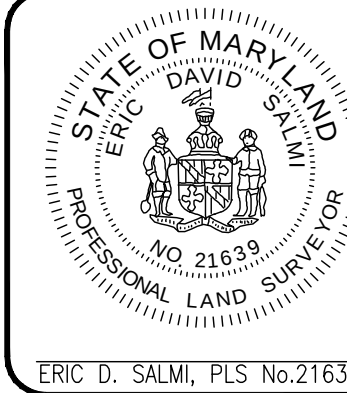
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HISTORIC ELLICOTT PROPERTIES
8 PARK CENTER CT. STE 200
OWINGS MILLS, MD. 21117
TEL: 410-465-1950

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PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY STORM DRAIN
DRAINAGE AREA MAP
TIMBER WOODS

LOTS 1-8 AND OPEN SPACE LOTS 788
PARCEL 50 (L 2011 F.36) AND
A RESUBDIVISION OF SWEAVER PROPERTY LOT 2 - PLAT 5347
NEW CUT ROAD
ELLICOTT CITY, MARYLAND 21043
ZONED: R-ED
PARCEL 49 (LOT2) & 50
HOWARD COUNTY, MARYLAND

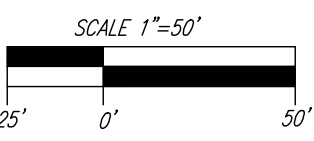
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STORM DRAIN DRAINAGE AREA MAP
SCALE: 1"=50'



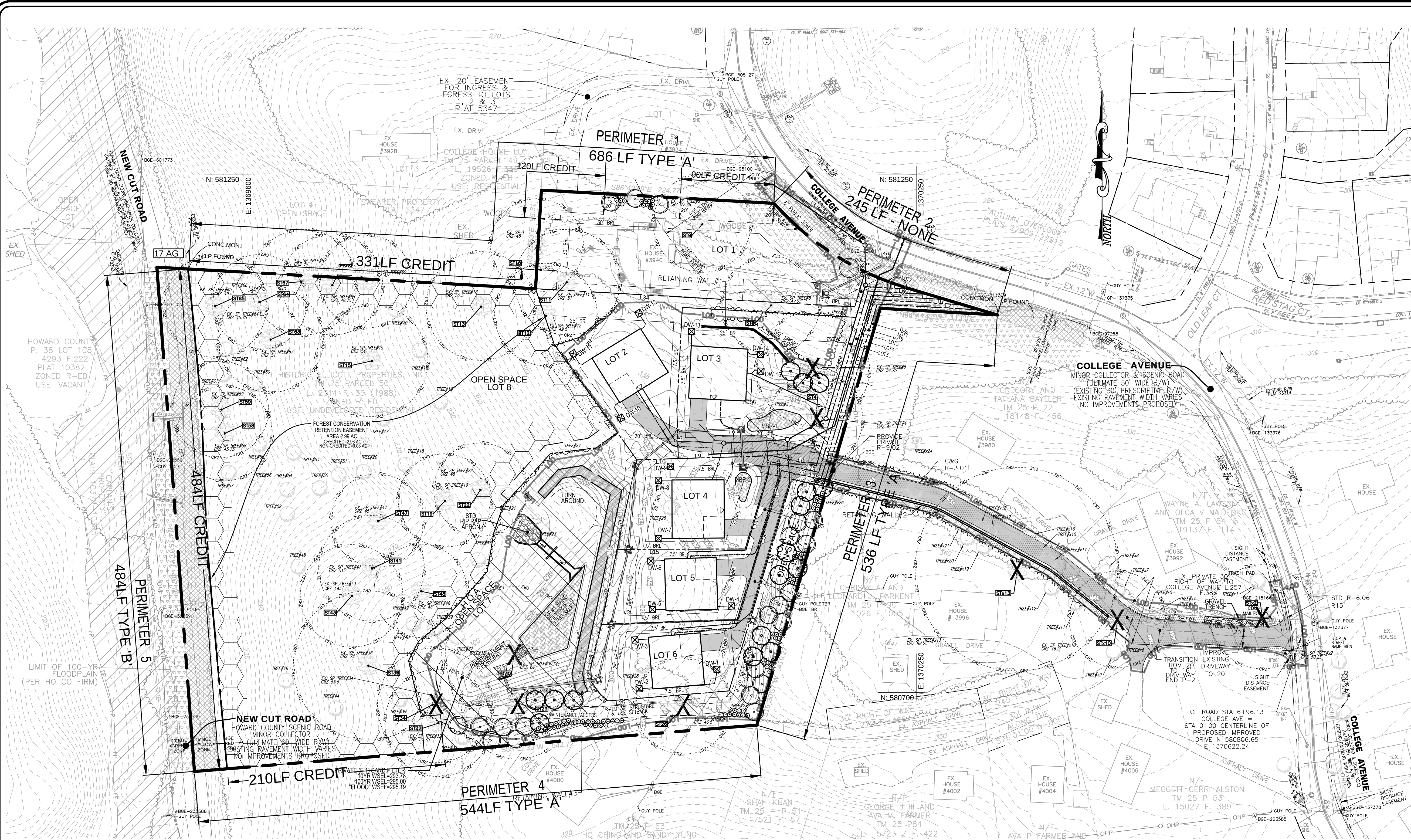
DRAINAGE AREAS TO STORM DRAIN STRUCTURES							
AREA ID	AREA		C FACTOR	IMPERVIOUS AREA			
	SO. FT	AC		SO. FT	AC	PERCENT	
I-1	3080	0.07	0.37	622	0.01	20	
I-2	5988	0.14	0.37	1295	0.03	22	
I-3	5950	0.14	0.38	1356	0.03	23	
I-4	13435	0.31	0.52	6100	0.14	45	
I-5	4476	0.10	0.53	2068	0.05	46	
I-6	7158	0.16	0.54	3520	0.08	49	
I-6A	9235	0.21	0.34	1492	0.03	16	
I-7	25544	0.59	0.45	8545	0.20	33	
I-8	26514	0.61	0.37	5476	0.13	21	
EX-I-8	131267	3.01	0.37	27845	0.64	21	

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HOWARD COUNTY

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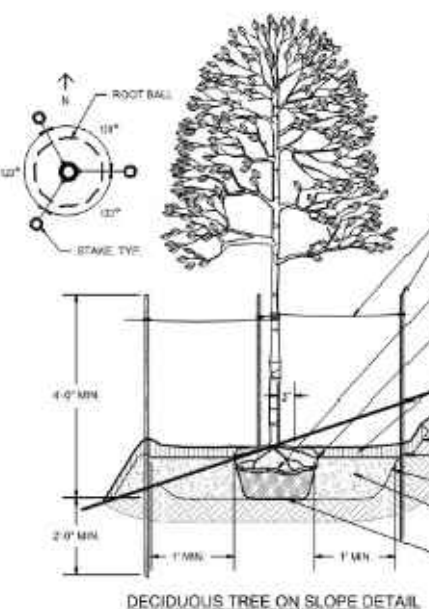
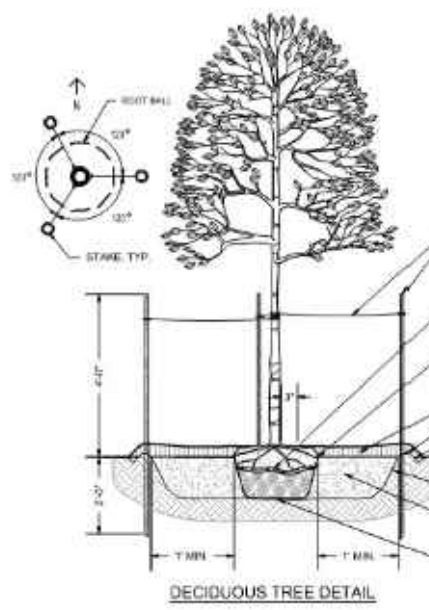
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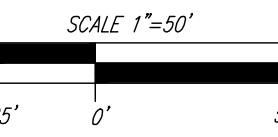
LEGEND:

	PROPERTY LINE		LOT LINE
	ADJACENT PROPERTY LINE		STORM DRAIN
	RIGHT-OF-WAY LINE		STORM DRAIN INLET
	EXISTING CONTOUR		STORM DRAIN MANHOLE
	EXISTING TREELINE		SAND FILTER AREA
	EXISTING EDGE OF PAVING		DRY WELL
	EXISTING TREE		PROPOSED TREELINE
	EXISTING UTILITY		SPECIMEN TREE WITH CRITICAL ROOT ZONE DELINEATION
	EXISTING FENCE		EX. SPECIMEN TREE TO BE REMOVED
	EXISTING SANITARY SEWER		PERIMETER OR STREET TREE
	EXISTING SEWER CLEANOUT		SPECIMEN TREE MITIGATION PLANTING
	EXISTING WATER		PROPOSED PAVING
	EXISTING OVERHEAD WIRE		
	FLOOD PLAIN OFFSITE		
	EX. PAVING		
	FOREST CONSERVATION RETENTION EASEMENT		
	NON-CREDITED FOREST CONSERVATION RETENTION EASEMENT		
	BGE YELLOW ZONE		
	BGE GREEN ZONE		



PRELIMINARY LANDSCAPE PLAN

SCALE: 1"=50'



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SCHEDULE 'A' PERIMETER LANDSCAPE EDGE									
PERIMETER	LAND USE / ROADWAY ADJACENCY	LANDSCAPE EDGE TYPE	PERIMETER LENGTH (LF)	EXISTING TREES CREDIT (QTY)	REQUIRED PLANTS (QTY)		PROPOSED PLANTS (QTY)		SUBSTITUTIONS (QTY)
					SHADE SHRUBS (149)	EVERGREEN TREES (149)	SHADE SHRUBS (149)	EVERGREEN TREES (149)	SHADE SHRUBS (10/1)
1	SINGLE FAMILY DETACHED (SFD) - SINGLE FAMILY DETACHED (SFD)	A	686 LF	541 LF	1,60 ±3	N/A	1,8 ±19	3	0 19
2	SINGLE FAMILY DETACHED (SFD) FRONT - ROADWAY	NONE	245 LF	NO	N/A	N/A	-	-	-
3	SINGLE FAMILY DETACHED (SFD) - SINGLE FAMILY DETACHED (SFD)	A	536 LF	NO	(536)	1,60 ±9	(536)	12 0 37	3 30
4	SINGLE FAMILY DETACHED (SFD) - SINGLE FAMILY DETACHED (SFD)	A	543 LF	210 LF	(543)	1,60 ±6	(543)	6 0 42	-
5	SINGLE FAMILY DETACHED (SFD) REAR - ROADWAY	B	484 LF	484 LF	(0)	(0)	(0)	0 0 0	-
TOTAL					18 0	128	18 0	128	-

* CREDIT FOR EXISTING VEGETATION (FOREST CONSERVATION RETENTION AREAS) HAS BEEN USED FOR PORTIONS OF PERIMETERS 1 AND 4 AS WELL AS PERIMETER 5.

LANDSCAPE NOTES

1. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
2. THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERRIES, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
3. EXISTING TREES USED FOR CREDIT MUST BE MAINTAINED OR REPLACED TO KEEP IN COMPLIANCE WITH APPROVED PLANS. SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIBER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
4. PLANTINGS SHOWN HEREON ARE THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL DURING THE CONSTRUCTION OF THE FINAL PLAN.
5. SURETY FOR THE PROPOSED LANDSCAPING SHALL BE BASED ON THE NUMBER OF PLANTINGS REQUIRED.

GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
2. THE REMOVAL OF TREES 30" OR GREATER DBH IS PROHIBITED WITHOUT COUNTY APPROVAL.
3. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING WILL BE POSTED AS PART OF THE FINAL PLAN DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$14,640 FOR THE REQUIRED 18 SHADE TREES (\$5,400), 128 SHRUBS (\$3,840), AND 18 SPECIMEN TREE REMOVAL MITIGATION TREES (\$5,400).
4. NO LANDSCAPING TO BE INSTALLED WITH ANY PUBLIC EASEMENT FOR WATER, SEWER, OR STORMDRAIN.
5. ANY EXISTING STREET TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR.

DPZ'S POLICIES GOVERNING THE PLACEMENT OF LANDSCAPING AND STREET TREES IN PROXIMITY TO BGE POWER LINES OR TRANSMISSION RIGHT-OF-WAY ARE BASED ON BGE'S PUBLISHED "PLANTING ZONE CONCEPT" WHICH OUTLINES THE MAXIMUM ALLOWABLE PLANT MATERIALS FOR THREE DESIGNATED ZONES, AS THE DISTANCE FROM BGE EQUIPMENT INCREASES, SO DOES THE SIZE OF THE ALLOWABLE PLANT MATERIALS. THESE THREE ZONES ARE DEFINED AS FOLLOWS:

ZONE	DISTANCE FROM THE BGE POWER LINE OR TRANSMISSION RIGHT-OF-WAY	MAXIMUM HEIGHT
GREEN	UP TO 20 FEET	25 FEET
YELLOW	BETWEEN 20 FEET AND 45 FEET	25 FEET
RED	BETWEEN 45 FEET	25 FEET

SCHEDULE 'C' STREET TREE PLANTING

STREET NAME	LINEAR FEET	NO. REQUIRED	NO. PROVIDED
NEW CUT RD	484/30	16	0 (1)
COLLEGE AVENUE	245/30	8	2 (2)

- (1) EXISTING VEGETATION TO REMAIN ALONG SCENIC ROAD
- (2) 185 LF EXISTING VEGETATION TO REMAIN. PLANTINGS SHALL CONFORM WITH BGE REQUIREMENTS

PUBLIC STREET TREES AND TRASH PAD PLANTINGS ARE PROVIDED FOR THIS PROJECT IN ACCORDANCE WITH SECTION 16.124(A)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL. A FINANCIAL SURETY IN THE AMOUNT OF \$250 (2 STREET TREES (\$300) AND 5 TRASH PAD SHRUBS (\$150) SHALL BE POSTED AS PART OF THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS COST ESTIMATE.

TRASH PAD LANDSCAPING

SYMBOL	QTY.	DESCRIPTION	SIZE	REMARKS
	5	TAXUS CURSPIDATA 'NANA' DWARF JAPANESE YEW OR EQUAL*	MIN. 24" HEIGHT	B & B

* TO BE DETERMINED AT FINAL PLAN

B & E NOTES:

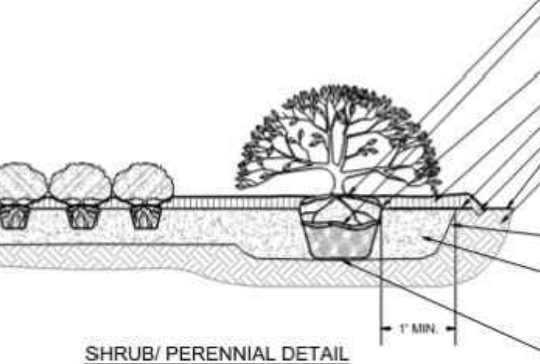
1. BGE RESERVES THE RIGHT TO TRIM, TOP OR CUT DOWN ANY TREE IN PROXIMITY TO THE LINE WITHIN THE RIGHT-OF-WAY THAT IS DEEMED A HAZARD TO THE SAFE AND RELIABLE DELIVERY OF ELECTRICITY.
2. THE DEPARTMENT OF PLANNING AND ZONING MAY APPROVE THE TRIMMING OR REMOVAL OF TREES OR VEGETATION IMMEDIATELY ADJACENT TO THE BGE R/W OR EASEMENT, IF BGE DETERMINES THE TREES ARE COMPROMISING THE SAFETY OF A TRANSMISSION LINE LOCATED WITHIN THEIR UTILITY, R/W OR EASEMENT. IF BGE INTENDS TO TRIM OR REMOVE TREES WITHIN A FOREST CONSERVATION EASEMENT, A LETTER SPECIFYING THE LOCATION AND SCOPE OF WORK, NEEDS TO BE SENT TO DPZ AT LEAST 30 DAYS IN ADVANCE OF UNDERTAKING THE WORK. DPZ UNDERSTANDS CONSULTATION ENERGY'S NEED TO PROTECT ITS TRANSMISSION LINES, AND WILL NOT INTERFERE WITH REMOVAL OF TREES.
3. CALL MISS UTILITY TO MARK UP THE LOCATION OF EXISTING GAS LINE BEFORE PLANTING STREET TREES ALONG COLLEGE AVENUE AND NEW CUT ROAD & PLANT STREET TREES 10' AWAY FROM EXISTING GASLINE AS REQUIRED.

NOTES:

1. ALL STREET TREES AND/OR SIGN SHALL BE LOCATED 5' MIN. FROM PROPOSED DRAINAGE, UTILITY STRUCTURE.
2. THERE SHOULD BE A MINIMUM OF 20' BETWEEN STREET LIGHTS AND STREET TREES.

NOTES:

1. CONTRACTOR SHALL LOOSEN ROOTS OF ALL EXISTING TREES IN PROXIMITY TO LANDSCAPING.
2. CONTRACTOR SHALL SHARPEN SIDES OF EXISTING TREES TO PREVENT SETTLING.
3. PERENNIALS SHALL BE PLANTED IN 12" DEPTH.



TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

APPROVED
PLANNING BOARD OF HOWARD COUNTY

PB # XXX
XX XX, 2026
DATE

PLANNING DIRECTOR

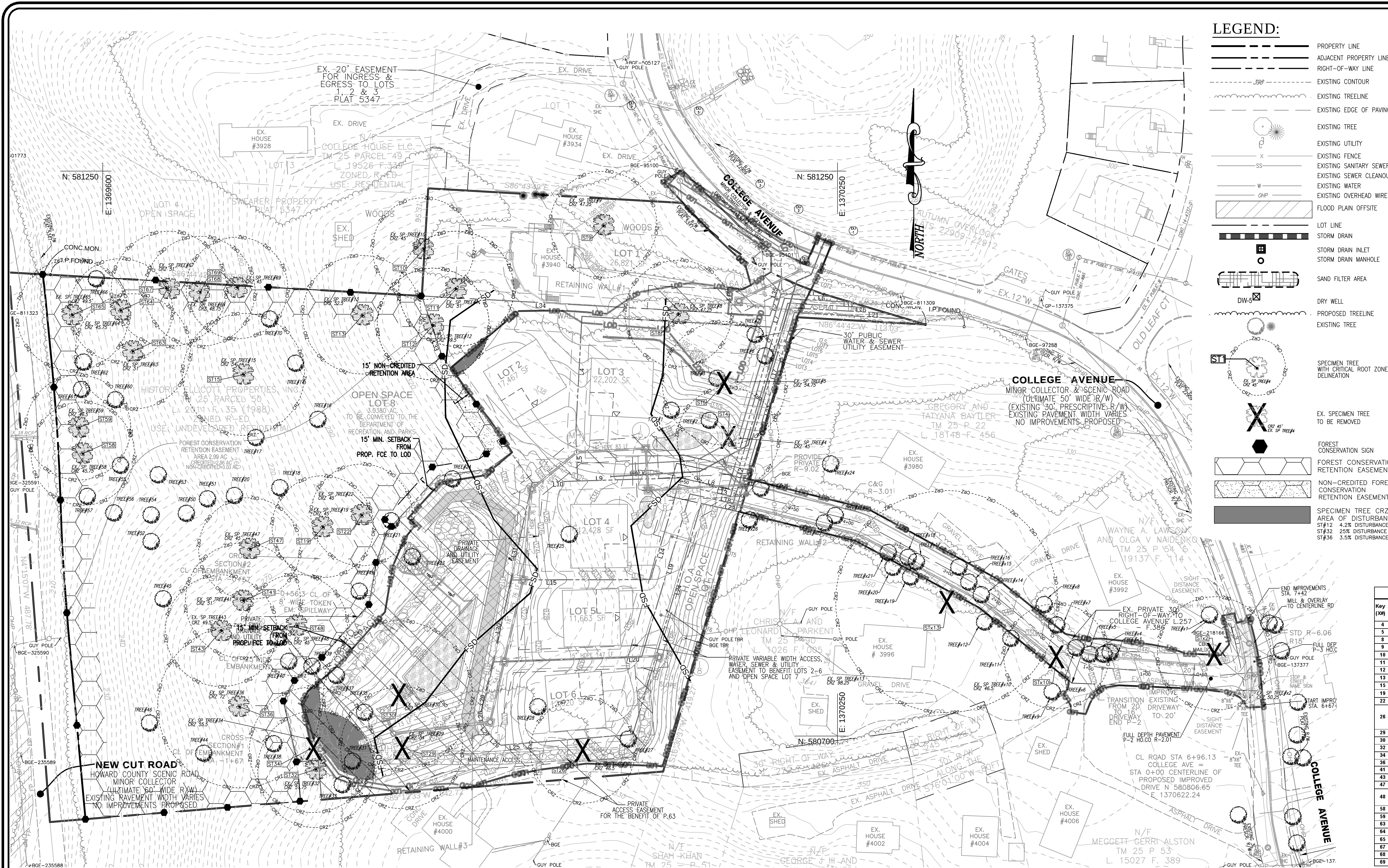
DATE



DESIGN BY: EXSITE
DRAWN BY: EDS
CHECKED BY: EXSITE
DATE: JULY 2026
SCALE: AS SHOWN
W.O. NO.: 25-010

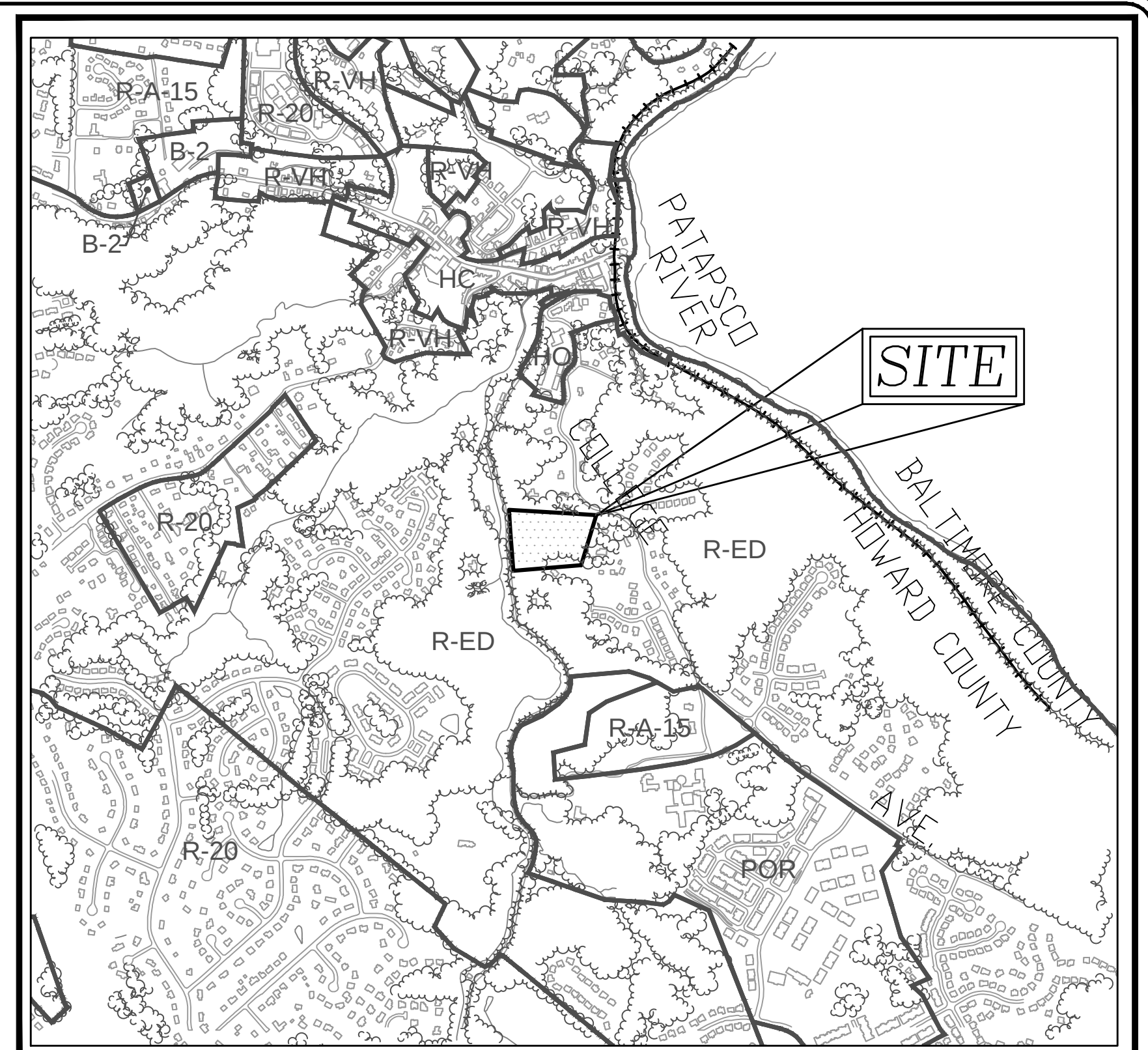
PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21639
EXPIRATION DATE: 01-03-2028

7 OF 12



LEGEND:

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- RIGHT-OF-WAY LINE
- EXISTING CONTOUR
- EXISTING TREELINE
- EXISTING EDGE OF PAVING
- EXISTING TREE
- EXISTING UTILITY
- EXISTING FENCE
- EXISTING SANITARY SEWER
- EXISTING SEWER CLEANOUT
- EXISTING WATER
- EXISTING OVERHEAD WIRE
- FLOOD PLAIN OFFSITE
- LOT LINE
- STORM DRAIN
- STORM DRAIN INLET
- STORM DRAIN MANHOLE
- SAND FILTER AREA
- DRY WELL
- PROPOSED TREELINE
- EXISTING TREE
- SPECIMEN TREE WITH CRITICAL ROOT ZONE DELINEATION
- EX. SPECIMEN TREE TO BE REMOVED
- FOREST CONSERVATION SIGN
- FOREST CONSERVATION RETENTION EASEMENT
- NON-CREDITED FOREST CONSERVATION RETENTION EASEMENT
- SPECIMEN TREE CRZ AREA OF DISTURBANCE
- ST142 4.2% DISTURBANCE
- ST152 2.5% DISTURBANCE
- ST136 3.5% DISTURBANCE



VICINITY MAP
SCALE: 1"=1000'
ADC MAP/GRID NO. 4816/C9

GENERAL NOTES
WATERSHED NAME: PATAPSCO RIVER
PATAPSCO RIVER L N BR
WATERSHED NUMBER: MDE 8-DIGIT 02130906
MDE 12-DIGIT WATERSHED #021309061017

- A. GROSS SITE AREA: 7.34 AC.
B. AREA OF 100-YEAR FLOODPLAIN: 0.00 AC.
C. AREA OF WETLANDS AND BUFFERS(ONSITE): 0.00 AC.
D. AREA OF > 25% STEEP SLOPES: 3.50 AC.
E. EXISTING FOREST (FSD): 5.70 AC.
F. ZONED: R-ED
G. EXISTING USE: RESIDENTIAL
H. PROPOSED USE: RESIDENTIAL

Specimen Tree Chart				
Key (X#)	Species	Size (in dbh)	Comments (Good unless otherwise noted)	State Champion (in dbh)
4	Tulip poplar	30	TO BE REMOVED	101.3
5	Tulip poplar	36.5	TO BE REMOVED	101.3
8	Tulip poplar	31.5	TO BE REMOVED	101.3
9	Tulip poplar	31.5	TO BE REMOVED	101.3
10	Tulip poplar	30	TO BE REMOVED	101.3
11	Tulip poplar	34	TO BE REMOVED	101.3
12	White pine	33	TO BE REMOVED	101.3
13	Tulip poplar	35	TO BE REMOVED	101.3
15	Tulip poplar	36	TO BE REMOVED	101.3
19	Tulip poplar	30	TO BE REMOVED	101.3
22	Tulip poplar	30	TO BE REMOVED	101.3
26	Tulip poplar	31	Poor, hollow base, as wound TO BE REMOVED	101.3
29	Tulip poplar	36	TO BE REMOVED	101.3
30	Tulip poplar	44	TO BE REMOVED	101.3
32	Tulip poplar	34.5	TO BE REMOVED	101.3
34	Tulip poplar	37	TO BE REMOVED	101.3
36	Tulip poplar	46	TO BE REMOVED	101.3
41	Tulip poplar	34	TO BE REMOVED	101.3
43	Tulip poplar	33	TO BE REMOVED	101.3
47	White oak	30	TO BE REMOVED	91.7
48	Tulip poplar	30	evidence of decline in the canopy	101.3
58	Tulip poplar	36.5	TO BE REMOVED	101.3
59	Red oak	31	TO BE REMOVED	92.8
60	Tulip poplar	34	TO BE REMOVED	101.3
64	Tulip poplar	36.5	TO BE REMOVED	101.3
65	Tulip poplar	35	TO BE REMOVED	101.3
67	Tulip poplar	34	TO BE REMOVED	101.3
68	Tulip poplar	32.5	TO BE REMOVED	101.3
69	Tulip poplar	30	TO BE REMOVED	101.3

- FSD NOTES:**
- FIELD REVIEW OF THE SITE HAS CONFIRMED THAT NO WETLANDS OR STREAMS ARE PRESENT ON SITE. A STREAM IS PRESENT ON THE WEST SIDE OF NEW CUT ROAD, OPPOSITE THE SUBJECT PROPERTY.
 - THE SUBJECT PROPERTY IS WITHIN A TIBER BRANCH WATERSHED (021309061017).
 - NO 100-YEAR FEMA FLOODPLAIN IS PRESENT ON SITE.
 - STEEP SLOPES ARE PRESENT ON SITE.
 - NO RARE, THREATENED OR ENDANGERED SPECIES ARE KNOWN TO OCCUR ON THE SITE. THESE STREAMS ARE CLASSIFIED AS USE V-P WATERS.
 - NO CEMETARIES OR HISTORIC PROPERTIES ARE KNOWN TO OCCUR ON THE PROPERTY.
 - SPECIMEN TREES ARE PRESENT ON THE PROPERTY.
 - NO STATE CHAMPION TREES - TREES 72% OF THE STATE CHAMPION OR OTHER REGULATED VEGETATION IS PRESENT ON SITE.

OWNER P.49
COLLEGE HOUSE LLC
8 PARK CENTER CT, STE 200
OWINGS MILLS, MD 21117
TEL: 410-465-1950

OWNER / DEVELOPER P.50
HISTORIC ELLICOTT PROPERTIES
8 PARK CENTER CT, STE 200
OWINGS MILLS, MD 21117
TEL: 410-465-1950

FOREST CONSERVATION EASEMENT TABLE				
EASEMENT	RETENTION CREDITED	NON-CREDITED	AFFORESTATION/REFORESTATION	TOTAL
FCE#1	2.96 AC	0.03 AC	—	2.99 AC
TOTAL	2.96 AC	0.03 AC	—	2.99 AC

FOREST RETENTION AREAS AND NOTES

- THERE ARE NO WETLANDS OR WETLAND BUFFERS LOCATED ONSITE.
- NO RARE, THREATENED OR ENDANGERED SPECIES WERE OBSERVED ON THIS SITE.
- THERE ARE NO FLOODPLAINS AND STREAM BUFFERS LOCATED ONSITE.
- CHANGES IN GRADING AND RUNOFF WITHIN CONSTRUCTION/INSTALLATION AREAS WILL NOT ADVERSELY AFFECT THE SOILS WITHIN THE FOREST RETENTION AREA. SEDIMENT CONTROL MEASURES WILL PREVENT CONCENTRATED FLOW RUNOFF TO STORMWATER MANAGEMENT FACILITIES, RETAIN SEDIMENT WITHIN THE CONSTRUCTION SITE, AND/OR REDIRECT CLEAN WATER AWAY FROM CONSTRUCTION AREAS.
- THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT. HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.

MAPPED SOILS TYPES - HOWARD COUNTY, MARYLAND					
SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	K _w RANGE*	HIGHLY FERTILE
G8b	GLENNVILLE-COONROCK - Silt LOAM - 0 to 8 PERCENT SLOPES	C	NO	0.32	NO
M2d	MAJOR LOAM - 15 to 25 PERCENT SLOPES, VERY ROCKY	B	NO	0.28	YES
M4f	MAJOR-SHANNONTOWN SANDY LOAMS - 25 to 65 PERCENT SLOPES, ROCKY	B	NO	0.24	YES
Lm8	LEGGORE-MONTALTO - Silt LOAM - 3 to 8 PERCENT SLOPES	C	NO	0.64	YES
Le8	LEGGORE Silt LOAM - 8 to 15 PERCENT SLOPES, STONY	C	NO	0.64	YES

TAKEN FROM: USDA, SCS-WEB SOIL SURVEY, HOWARD COUNTY
K VALUES TAKEN FROM: <https://www.howardcountymd.org/documents> - "K" FACTORS (USE KWT)
NOTE: MOIST ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR "K" GREATER THAN 0.35 AND WITH SLOPE GREATER THAN 5 PERCENT.

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

PLANNING DIRECTOR _____ DATE _____

Min. 11"
Min. 15"

FOREST RETENTION AREA
DO NOT DISTURB
MACHINERY, DUMPING OR STORAGE OF ANY MATERIALS IS PROHIBITED

VIOLATORS ARE SUBJECT TO FINES AS IMPOSED BY THE MARYLAND FOREST CONSERVATION ACT OF 1991

NOTE:

- BOTTOM OF SIGNS TO BE HIGHER THAN TOP OF TREE PROTECTION FENCE.
- SIGNS TO BE PLACED APPROXIMATELY 50-100' FEET APART. CONDITIONS ON SITE AFFECTING VISIBILITY MAY WARRANT PLACING SIGNS CLOSER OR FARTHER APART.
- WHERE SIGNS ARE TO BE PLACED AT THE REAR OF PROPOSED LOTS, SPACING SHALL BE APPROX. 25'-30'.
- ATTACHMENT OF SIGNS TO TREES IS PROHIBITED.
- ALL FOREST CONSERVATION SIGNAGE SHALL BE IN PLACE FOR PERPETUITY.
- SIGN LOCATION SYMBOL: ●

FOREST CONSERVATION AREA SIGN

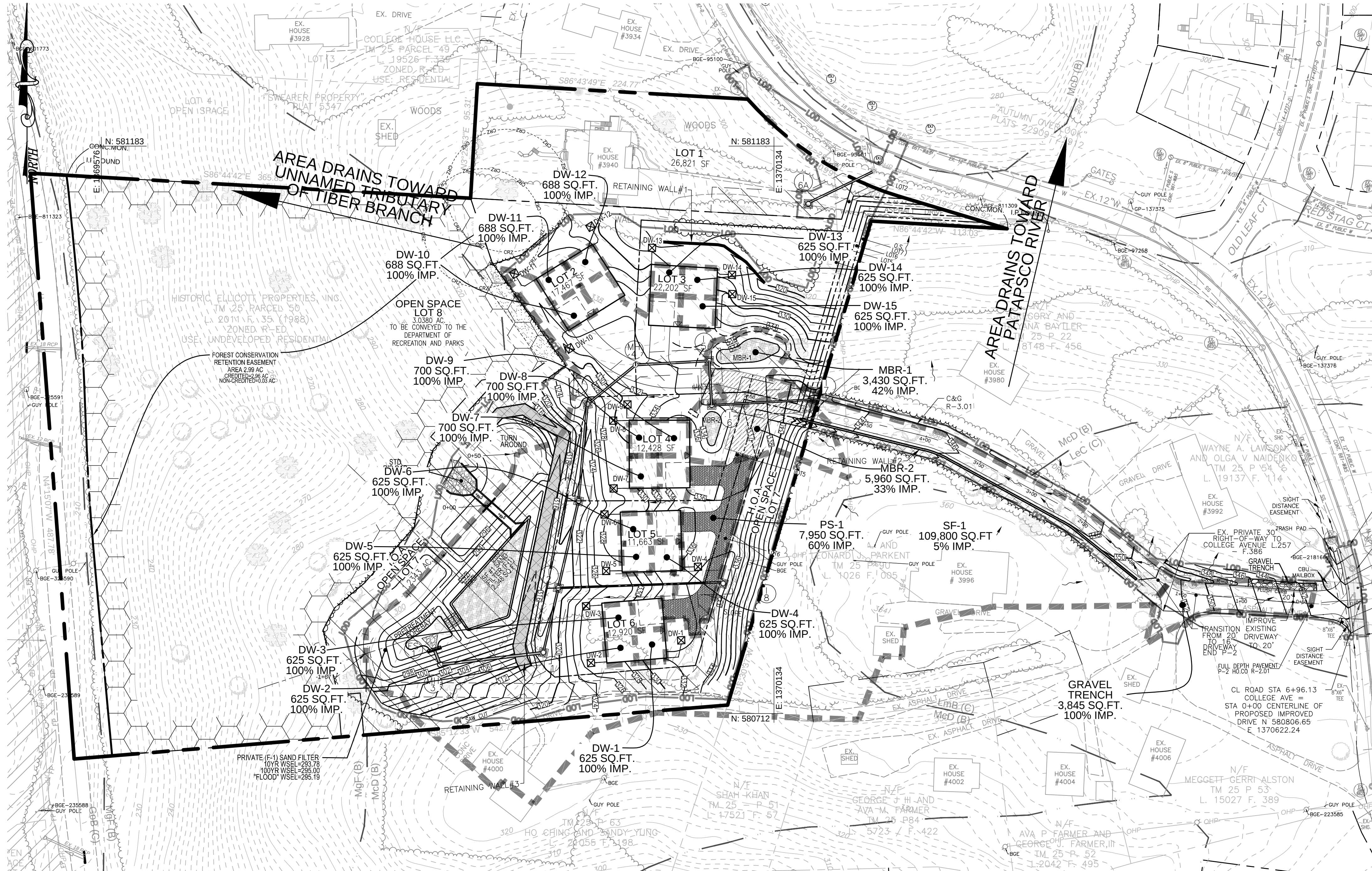
APPROVED
PLANNING BOARD OF HOWARD COUNTY

PB # XXX
XX.XX, 2026
DATE _____

FOREST CONSERVATION WORKSHEET FOR				
Net Tract Area				
A. Total (Gross) Tract Area	A =	7.34		
B. Area within 100-year Floodplain	B =	0.00		
C. Other Deductions (Identify)	C =	0.00		
D. Net Tract Area	D =	7.34		
Land Use Category				
Insert the number "1" under the appropriate land use (limit to only one entry)				
Recreational	Recreational	Recreational	Recreational	Recreational
1	1	1	1	1
2	2	2	2	2
3	3	3	3	3
4	4	4	4	4
5	5	5	5	5
6	6	6	6	6
7	7	7	7	7
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100	100	100	100	100

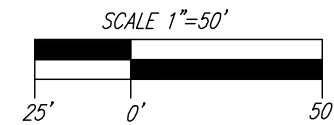
PRELIMINARY FOREST CONSERVATION PLAN
SCALE: 1"=50'
SCALE 1"=50'

Right-of-way Tree Chart					
Key (X#)	Species	Size (inches)	CRZ (1.5 x tree height)	Condition (good unless otherwise noted)	State Change on 12/31/2023
x11	Red cedar	22	33	good	58.28
x12	Red cedar	33.5	50.25	good	58.28
x13	Norway Spruce	10	15	good	57.32
x14	Norway Spruce	8	12	good	56.28
x15	Norway Spruce	0	0	dead	56.28
x16	White	0	0	shrub - multiflorous	58.28
x17	White	0	0	shrub - multiflorous	58.28
x18	White	0	0	shrub - multiflorous	58.28
x19	Norway Spruce	23	34.5	good	57.32
x20	Norway Spruce	31	46.5	good	58.28
x21	Aspen	0	0	dead	58.28
x22	Aspen	0	0	dead	58.28
x23	Catalpa	60.5	90.75	fair, some damage in canopy	70.94
x24	Black locust	9	13.5	good	57.32
x25	Black locust	8	12	good	57.83
x26	Silver maple	16	24	good	55.95
x27	Silver maple	29.5	44.25	fair, some damage	55.95
x28	Silver maple	18	27	good	55.95
x29	Silver maple	16	24	good	55.95
x30	Silver maple	16	24	good	55.95
x31	Silver maple	18	27	good	55.95
x32	Tulip poplar	21.5	32.25	good	101.27
x33	Tulip poplar	30.5	45.75	good	101.27
x34	Tulip poplar	16	24	good	101.27
x35	Norway Spruce	15.5	23.25	good	68.66
x36	Norway Spruce	12.5	18.75	good	101.27



ESD STORM WATER MANAGEMENT
DRAINAGE AREA MAP

SCALE: 1"=50'



MAPPED SOILS TYPES - HOWARD COUNTY, MARYLAND					
SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	K _w RANGE*	HIGHLY FLOODABLE
CBS	CLAYVILLE-CORRIERS - SILT LOAM - 0 TO 8 PERCENT SLOPES	C	NO	0.32	NO
MCS	MANOR LOAM - 15 TO 25 PERCENT SLOPES, VERY ROCKY	B	NO	0.28	YES
MPS	MANOR-BANNERTOWN SANDY LOAMS - 25 TO 65 PERCENT SLOPES, ROCKY	B	NO	0.24	YES
LMB	LEGORE-MONTICLO - SILT LOAM - 3 TO 8 PERCENT SLOPES	C	NO	0.64	YES
LCS	LEGORE SILT LOAM - 8 TO 15 PERCENT SLOPES, STONY	C	NO	0.64	YES

TAKEN FROM: USDA, SCS-WEB SOIL SURVEY, HOWARD COUNTY
K_w VALUES TAKEN FROM <https://www.howardscd.org/documents> - *K_w FACTORS (USE K_w)

NOTE:
HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT
OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K_w GREATER THAN 0.35 AND WITH
A SLOPE GREATER THAN 5 PERCENT

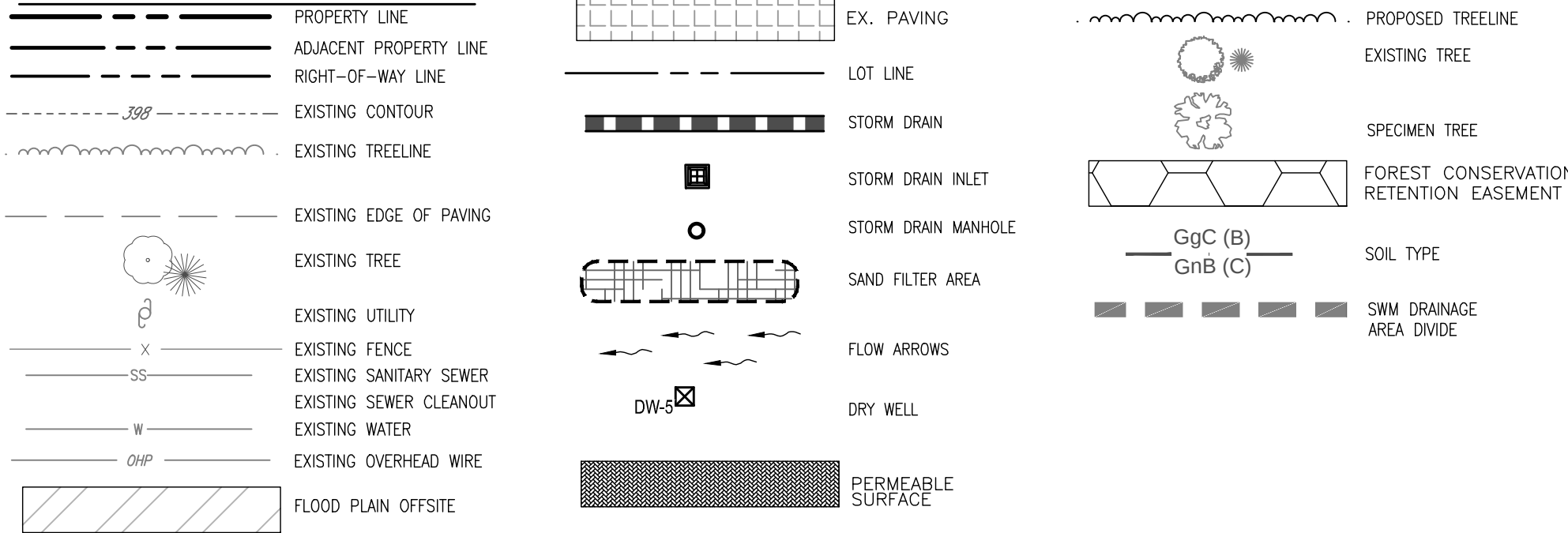
TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

PLANNING DIRECTOR _____ DATE _____

APPROVED
PLANNING BOARD OF HOWARD COUNTY

PB # XXX
XX XX, 2026
DATE

LEGEND:



TIMBER WOODS - ESDv PER AREA COMPUTATIONS													
		DEVELOPED / SITE AREA:		2.83	AC	TARGET P _{av} :		1.01/6	IN	SITE IMPERVIOUS:		25.84	PERCENT ESTIMATED
		SITE AREA:		0.28	ESTIMATED								
R=0.05(0.009K) V=0.01(0.017K) Vmax=0.01(0.017K)													
(1.0x0.95A)/12 (12.6x0.95A)/12													
#	% IMPERV	R _v	IN /SF	MINIMUM VOLUME(CF)	MAXIMUM VOLUME(CF)	Per1.0" VOLUME(CF)	VOLUME(CF) PROVIDED*	IMPV /SF	IMPV /AC	GREEN AREA	REMARKS		
DW1 PE#1 2"	100.00	0.9500	625	0.01	49	129	79	58	625	0.01	0.00	MICROSCALE DRYWELL #1 58' 6x6x4' Drywell	
DW2 PE#1 2"	100.00	0.9500	625	0.01	49	129	79	58	625	0.01	0.00	MICROSCALE DRYWELL #2 58' 6x6x4' Drywell	
DW3 PE#1 2"	100.00	0.9500	625	0.01	49	129	79	58	625	0.01	0.00	MICROSCALE DRYWELL #3 58' 6x6x4' Drywell	
DW4 PE#1 2"	100.00	0.9500	625	0.01	49	129	79	58	625	0.01	0.00	MICROSCALE DRYWELL #4 58' 6x6x4' Drywell	
DW5 PE#1 2"	100.00	0.9500	625	0.01	49	129	79	58	625	0.01	0.00	MICROSCALE DRYWELL #5 58' 6x6x4' Drywell	
DW6 PE#1 2"	100.00	0.9500	625	0.01	49	129	79	58	625	0.01	0.00	MICROSCALE DRYWELL #6 58' 6x6x4' Drywell	
DW7 PE#1 0"	100.00	0.9500	700	0.02	55	144	89	58	700	0.02	0.00	MICROSCALE DRYWELL #7 58' 6x6x4' Drywell	
DW8 PE#1 0"	100.00	0.9500	700	0.02	55	144	89	58	700	0.02	0.00	MICROSCALE DRYWELL #8 58' 6x6x4' Drywell	
DW9 PE#1 0"	100.00	0.9500	700	0.02	55	144	89	58	700	0.02	0.00	MICROSCALE DRYWELL #9 58' 6x6x4' Drywell	
DW10 PE#1 1"	100.00	0.9500	688	0.02	54	142	87	58	688	0.02	0.00	MICROSCALE DRYWELL #10 58' 6x6x4' Drywell	
DW11 PE#1 1"	100.00	0.9500	688	0.02	54	142	87	58	688	0.02	0.00	MICROSCALE DRYWELL #11 58' 6x6x4' Drywell	
DW12 PE#1 1"	100.00	0.9500	688	0.02	54	142	87	58	688	0.02	0.00	MICROSCALE DRYWELL #12 58' 6x6x4' Drywell	
DW13 PE#1 2"	100.00	0.9500	625	0.01	49	129	79	58	625	0.01	0.00	MICROSCALE DRYWELL #13 58' 6x6x4' Drywell	
DW14 PE#1 2"	100.00	0.9500	625	0.01	49	129	79	58	625	0.01	0.00	MICROSCALE DRYWELL #14 58' 6x6x4' Drywell	
DW15 PE#1 2"	100.00	0.9500	625	0.01	49	129	79	58	625	0.01	0.00	MICROSCALE DRYWELL #15 58' 6x6x4' Drywell	
GRAVEL TRENCH IMPVED B. DRIVE	100.00	0.9500	3845	0.09	304	791	487	528	3845	0.09	0.00	MICROSCALE GRAVEL TRENCH 528' 2.2'x130' w4	
MBR-1 PE#0 1"	42.27	0.4305	3430	0.08	123	320	197	747	1490	0.03	0.05	MBR-1 747' 550' SF	
MBR-2 PE#0 4"	32.97	0.3467	5960	0.14	172	448	276	408	1965	0.05	0.09	MBR-2 408' 306' SF	
PERM SURFACE DRIVE PE#1 0"	60.25	0.5923	7950	0.18	392	1020	628	693	4790	0.11	0.07	PERM SURFACE DRIVEWAY 200' SF	
												2.5' @ 12" 2.5' @ 12"	
SAND FILTER PE#0 7"	4.74	0.0926	109800	2.52	848	2204	1356	3131	5200	0.12	2.40	SURFACE SAND FILTER #1 3131' 2348' SF FILTER	
MEASURED PROJECT													
TOTALS	19.56	0.2261	141399	3.25	2664	6926	4262	6428	27664	0.64	2.61		
WEIGHTED P _{av}	2.41												

OWNER P.49
COLLEGE HOUSE LLC
8 PARK CENTER CT, STE 200
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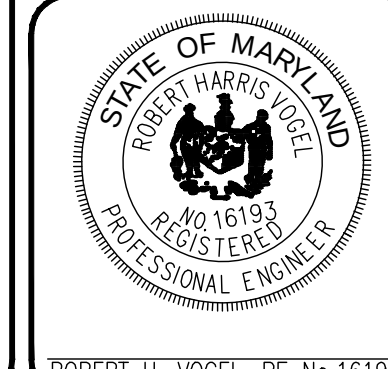
OWNER / DEVELOPER P.50
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8 PARK CENTER CT, STE 200
OWINGS MILLS, MD, 21117
TEL: 410-465-1950

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY ESD STORM WATER MANAGEMENT
DRAINAGE AREA MAP
TIMBER WOODS

LOTS 1-6 AND OPEN SPACE LOTS 7&8
PARCEL 50 (L 2011) F 53 AND
A RESUBDIVISION OF SWEATER PROPERTY LOT 2-2 PLAT 5347
NEW CUT ROAD
ELLICOTT CITY, MARYLAND 21043
ZONED: R-ED
TAX MAP 25 GRID 14
2ND ELECTION DISTRICT
PARCEL 49 (LOT2) & 50
HOWARD COUNTY, MARYLAND

EXSITE
ENGINEERING
AND
SURVEYING, LLC
8165 Cypress Cedar Lane - Suite 201
Ellicott City, Maryland 21043
Tel: 410-320-8517 - connect@exsite-llc.com

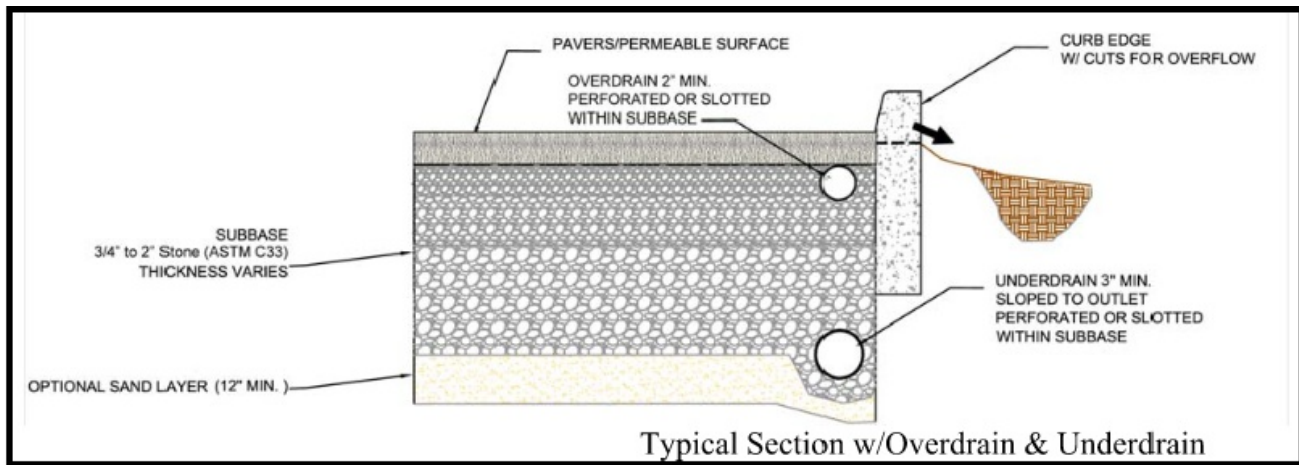


DESIGN BY: EXSITE
DRAWN BY: EDS
CHECKED BY: EXSITE
DATE: JULY 2026
SCALE: AS SHOWN
W.O. NO.: 25-010

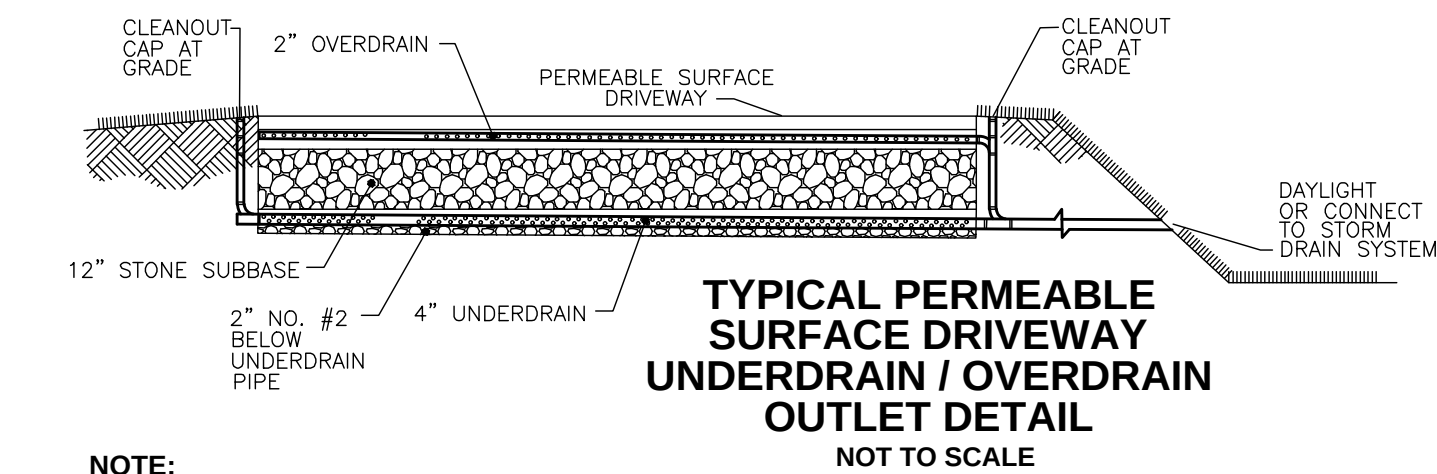
PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: 09-27-2028

9 SHEET
OF 12

- OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)**
- A. THE INDIVIDUAL LOT OWNER SHALL PERIODICALLY SWEEP (OR VACUUM POROUS CONCRETE PAVEMENT) THE PAVEMENT SURFACES TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY. SWEEPING SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY WITH A COMMERCIAL CLEANING UNIT. WASHING OR COMPRESSED AIR UNITS SHOULD NOT BE USED TO PERFORM SURFACE CLEANING.
- B. THE INDIVIDUAL LOT OWNER SHALL PERIODICALLY CLEAN DRAINAGE PIPES, INLETS, STONE EDGE DRAINS AND OTHER STRUCTURES WITHIN OR DRAINING TO THE SUBBASE.
- C. THE INDIVIDUAL LOT OWNER SHALL USE DEICERS IN MODERATION. DEICERS SHOULD BE NON-TOXIC AND BE APPLIED EITHER AS CALCIUM MAGNESIUM ACETATE OR AS PRETREATED SALT. THE INDIVIDUAL LOT OWNER SHALL ENSURE SNOW PLOWING IS PERFORMED CAREFULLY WITH BLADES SET ONE-INCH ABOVE THE SURFACE. PLOWED SNOW PILES AND SNOW MELT SHOULD NOT BE DIRECTED TO PERMEABLE PAVEMENT.
- D. THE INDIVIDUAL LOT OWNER SHALL ENSURE SNOW PLOWING IS PERFORMED CAREFULLY WITH BLADES SET ONE-INCH ABOVE THE SURFACE. PLOWED SNOW PILES AND SNOW MELT SHOULD NOT BE DIRECTED TO PERMEABLE PAVEMENT.

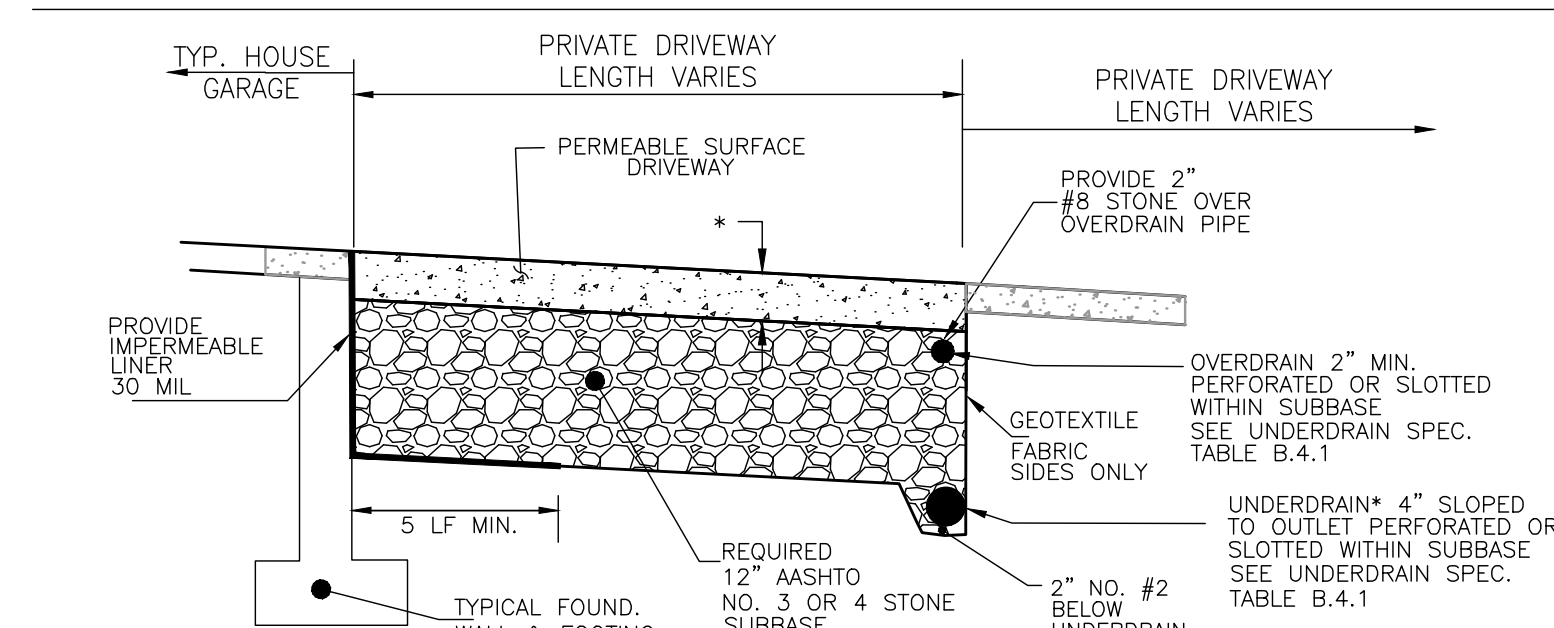


Typical Section w/Overdrain & Underdrain
NOT TO SCALE



TYPICAL PERMEABLE SURFACE DRIVEWAY UNDERDRAIN / OVERDRAIN OUTLET DETAIL
NOT TO SCALE

NOTE:
- DETAILS SHOWN FOR INFORMATION ONLY, DRIVEWAY DETAILING (TYPE, PLAN VIEW & FINAL PROFILE) WILL BE PART OF THE BUILDER'S FUTURE SITE DEVELOPMENT PLAN.



- NOTES:**
- PAVEMENT CROSS SECTION/THICKNESS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER.
 - UNDERDRAIN SHALL BE LOCATED SUCH THAT IT CAN DAYLIGHT OR CONNECT TO STORM DRAIN SYSTEM.
 - OVERDRAIN SHALL COMBINE WITH UNDERDRAIN.
 - AN UNDERDRAIN CLEANOUT SHALL BE PROVIDED ON THE HIGH AND LOW SIDE OF THE DRIVEWAY.

TYP. DETAIL - PERMEABLE SURFACE DRIVEWAY - 5% OR LESS
NOT TO SCALE

* PERMEABLE CONCRETE THICKNESS, MIX AND SUB-BASE TO BE DETERMINED BY GEOTECHNICAL ENGINEER ONSITE.

A-2. PERMEABLE PAVEMENTS

CONSTRUCTION CRITERIA:

THE FOLLOWING ITEMS SHOULD BE ADDRESSED DURING CONSTRUCTION OF PROJECTS WITH PERMEABLE PAVEMENT:

- EROSION AND SEDIMENT CONTROL: FINAL GRADING FOR INSTALLATION SHOULD NOT TAKE PLACE UNTIL THE SURROUNDING SITE IS STABILIZED. IF THIS CANNOT BE ACCOMPLISHED, RUNOFF FROM DISTURBED AREAS SHALL BE DIVERTED AROUND PROPOSED PAVEMENT LOCATIONS.
- SOIL COMPACTION: SUB SOILS SHALL NOT BE COMPACTED. CONSTRUCTION SHOULD BE PERFORMED WITH LIGHTWEIGHT, WIDE TRACKED EQUIPMENT TO MINIMIZE COMPACTION. EXCAVATED MATERIALS SHOULD BE PLACED IN A CONTAINED AREA.
- DISTRIBUTION SYSTEMS: OVERDRAIN, UNDERDRAIN, AND DISTRIBUTION PIPES SHALL BE CHECKED TO ENSURE THAT BOTH THE MATERIAL AND PERFORATIONS MEET SPECIFICATIONS (SEE APPENDIX B. 4). THE UPSTREAM ENDS OF PIPES SHOULD BE CARPED PRIOR TO INSTALLATION. ALL UNDERDRAIN OR DISTRIBUTION PIPES USED SHOULD BE INSTALLED FLAT ALONG THE BED BOTTOM.
- SUBBASE INSTALLATION: SUBBASE AGGREGATE SHALL BE CLEAN AND FREE OF FINES. THE SUBBASE SHALL BE PLACED IN LIFTS AND LIGHTLY ROLLED ACCORDING TO THE SPECIFICATIONS (SEE APPENDIX B.4).

INSPECTION:

REGULAR INSPECTIONS SHALL BE MADE DURING THE FOLLOWING STAGES OF CONSTRUCTION:

- DURING EXCAVATION TO SUB GRADE.
- DURING PLACEMENT AND BACKFILL OF ANY DRAINAGE OR DISTRIBUTION SYSTEM(S).
- DURING PLACEMENT OF THE CRUSHED STONE SUBBASE MATERIAL.
- DURING PLACEMENT OF THE SURFACE MATERIAL.
- UPON COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF PERMANENT STABILIZATION.

MAINTENANCE CRITERIA:

THE FOLLOWING PROCEDURES SHOULD BE CONSIDERED ESSENTIAL FOR MAINTAINING PERMEABLE PAVEMENT SYSTEMS:

- PAVEMENTS SHOULD BE USED ONLY WHERE REGULAR MAINTENANCE CAN BE PERFORMED. MAINTENANCE AGREEMENTS SHOULD CLEARLY SPECIFY HOW TO CONDUCT ROUTINE TASKS TO ENSURE LONG-TERM PERFORMANCE.
- PAVEMENT SURFACES SHOULD BE SWEEPED AND VACUUMED TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY. SWEEPING SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY WITH A COMMERCIAL CLEANING UNIT. WASHING SYSTEMS AND COMPRESSED AIR UNITS SHOULD NOT BE USED TO PERFORM SURFACE CLEANING.
- DRAINAGE PIPES, INLETS, STONE EDGE DRAINS, AND OTHER STRUCTURES WITHIN OR DRAINING TO THE SUBBASE SHOULD BE CLEANED OUT AT REGULAR INTERVALS.
- TRUCKS AND OTHER HEAVY VEHICLES CAN GRIND DIRT AND GRIT INTO THE POROUS SURFACES, LEADING TO CLOGGING AND PREMATURE FAILURE. THESE VEHICLES SHOULD BE PREVENTED FROM TRACKING AND SPILLING MATERIAL ONTO THE PAVEMENT.
- DEICERS SHOULD BE USED IN MODERATION. WHEN USED, DEICERS SHOULD BE NON-TOXIC AND ORGANIC AND CAN BE APPLIED EITHER AS CALCIUM MAGNESIUM ACETATE OR AS PRETREATED SALT. SNOW PLOWING SHOULD BE DONE CAREFULLY WITH BLADES SET ONE-INCH HIGHER THAN NORMAL. PLOWED SNOW PILES AND SNOW MELT SHOULD NOT BE DIRECTED TO PERMEABLE PAVEMENT.

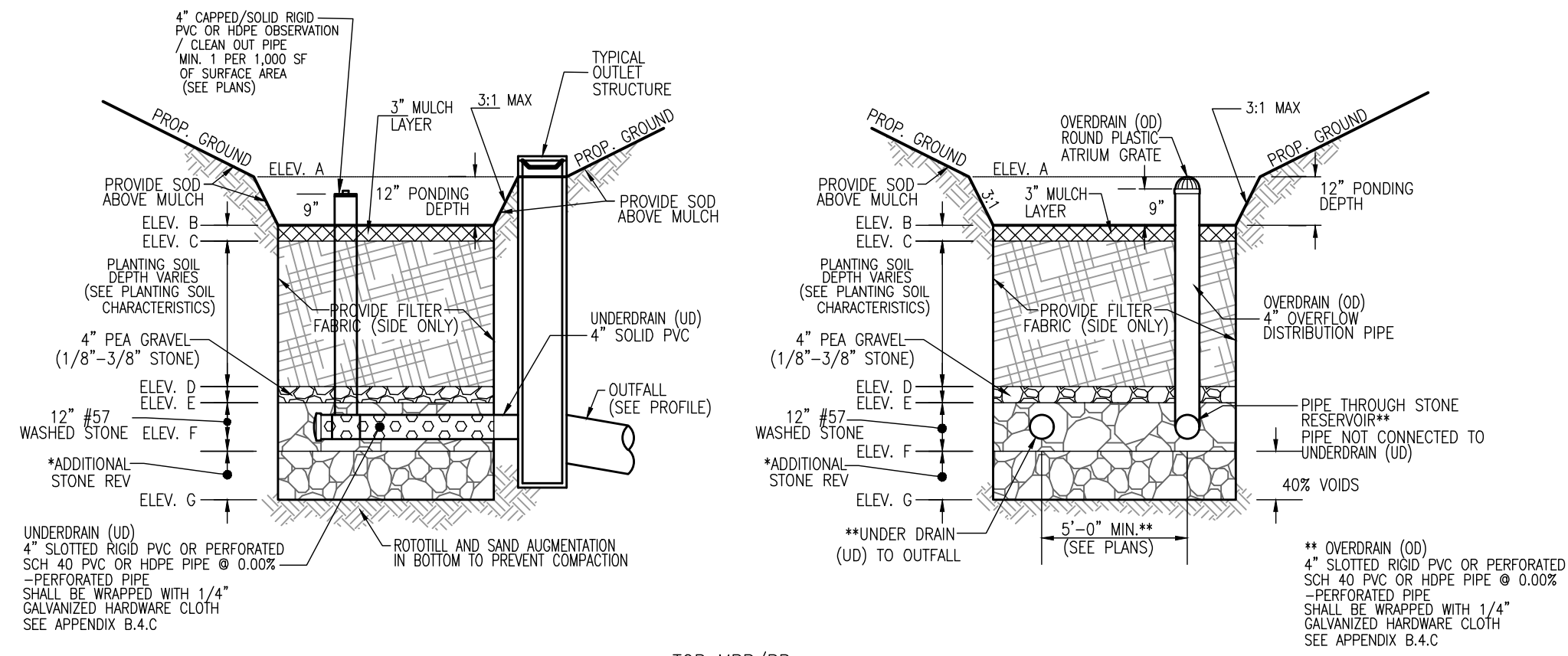
TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

APPROVED
PLANNING BOARD OF HOWARD COUNTY

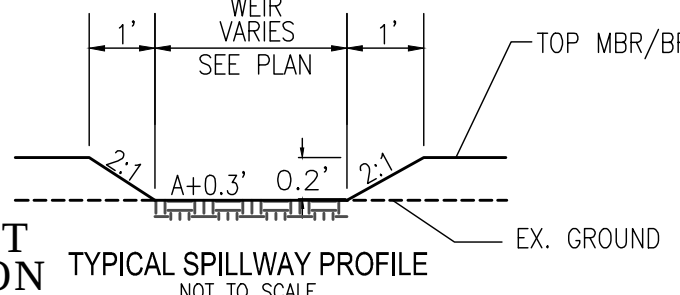
PB # XXX
XX XX, 2026
DATE

PLANNING DIRECTOR

DATE



DETAILS OF OVERFLOW WEIR OUTLET
MICRO-BIORETENTION / BIORETENTION
NOT TO SCALE



TYPICAL SPILLWAY PROFILE
NOT TO SCALE

MICRO-BIORETENTION NOTES:

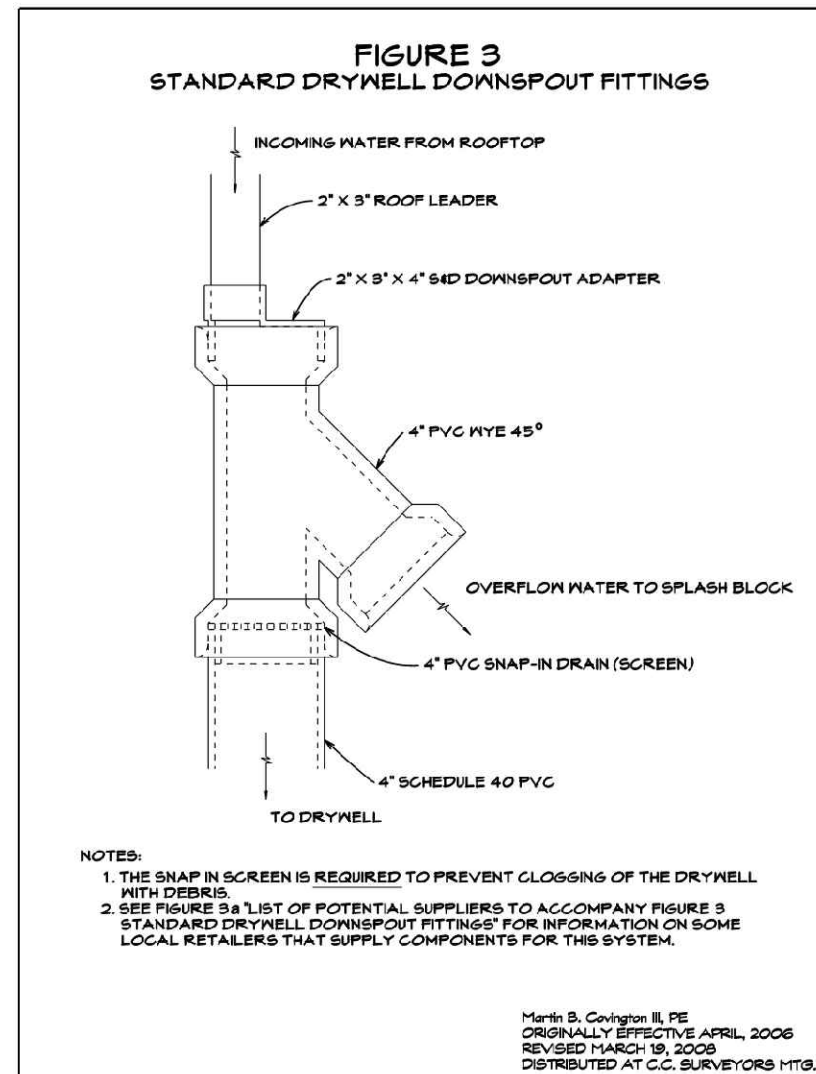
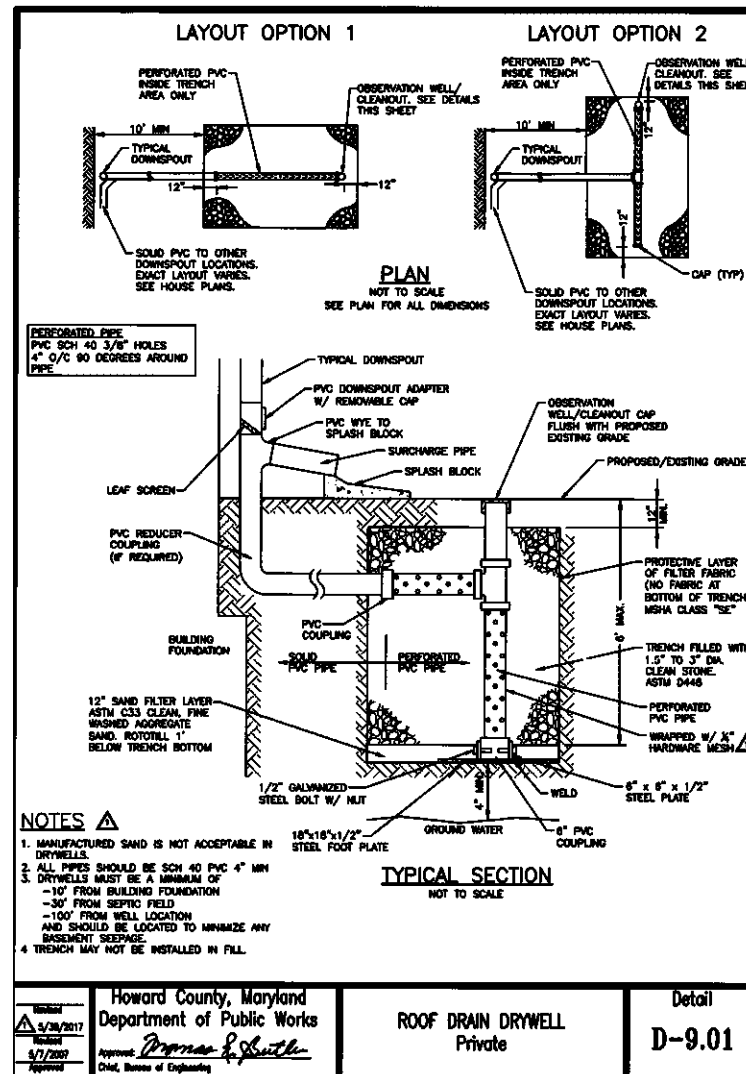
- ONLY THE SIDES OF MICRO-BIORETENTION ARE TO BE WRAPPED IN FILTER FABRIC. FILTER FABRIC BETWEEN LAYER OR AT THE BOTTOM OF THE MICRO-BIORETENTION WILL CAUSE THE MBR TO FAIL, AND THEREFORE SHALL NOT BE INSTALLED.
- WRAP THE PERFORATED MICRO-UNDERDRAIN PIPE WITH 1/4" MESH (4x4) OR SMALLER GALVANIZED HARDWARE CLOTH.
- PROVIDE 5" MINIMUM SPACING BETWEEN UNDERDRAIN AND PERFORATED PIPE THROUGH STONE RESERVOIR OR SPACE PIPE EQUALLY ACROSS BOTTOM FOR SMALL BIOS. (SEE PLANS)

OPERATION AND MAINTENANCE SCHEDULE FOR LANDSCAPE INFILTRATION (M-3), MICRO-BIORETENTION (M-6), RAIN GARDENS (M-7), BIO-SWALE (M-8), BIORETENTION (F-6) AND ENHANCED FILTERS (M-9)

- THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL PRUNINGS. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL, VOLUME II, TABLE A.4-1 AND 2.
- THE OWNER SHALL PERFORM A PLANT IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
- THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
- THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

Appendix B.4. Construction Specifications for Environmental Site Design Practices

Table B.4.1 Materials Specifications for Micro-Bioretentation, Rain Gardens & Landscape Infiltration			
Material	Specification	Size	Notes
Plantings	see Appendix A, Table A.4	n/a	plantings are site-specific
Planting soil (2" to 4" deep)	loamy sand (60-65%) & compost (35-40%) or sandy loam (30%), coarse sand (30%) & compost (40%)	n/a	USDA soil types loamy sand or sandy loam; clay content <5%
Organic content	Min. 10% by dry weight (ASTM D-2974)		
Mulch	shredded hardwood		aged 6 months, minimum; no pine or wood chips
Pea gravel diaphragm	pea gravel: ASTM-D-448	NO. 8 OR NO. 9 (1/8" TO 3/8")	
Curtain drain	ornamental stone: washed cobble	stone: 2" to 5"	
Geotextile		n/a	PE Type I nonwoven
Gravel (underdrains and infiltration basins)	AASHTO M-43	NO. 57 OR NO. 6 AGGREGATE (3/8" to 3/4")	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" to 6" rigid schedule 40 PVC or SDR33	Slotted or perforated pipes, 3/8" perf. @ 6" on center, 4 holes per row; minimum of 2" of gravel over pipes; not necessary underneath pipes. Perforated pipe shall be wrapped with 1/4-inch galvanized hardware cloth.
Poured in place concrete (if required)	MSHA Mix No. 3; F _c = 3500 psi @ 28 days, normal weight, air-entrained, reinforcing to meet ASTM-615-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACT Code 350.8-97; vertical loading (H-10 or H-20); allowable horizontal loading (based on soil movement) and analysis of potential loading.
Sand	AASHTO-M-6 or ASTM-C-33	0.02" to 0.04"	Sand substitutions such as Diabase and Gneissstone (AASHTO) #10 are not acceptable. No calcium carbonate or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.



- NOTES:**
- THE SNAP IN SCREEN IS REQUIRED TO PREVENT CLOGGING OF THE DRYWELL.
 - SEE FIGURE 3A LIST OF POTENTIAL SUPPLIERS TO ACCOMPANY FIGURE 3.
 - STANDARD DRYWELL DOWNSPOUT FITTINGS FOR INFORMATION ON SOME LOCAL RETAILERS THAT SUPPLY COMPONENTS FOR THIS SYSTEM.

Mark B. Cullum R.E.
REVISIONS: APRIL 2006
REVISED: MARCH 19, 2020
DESIGNED BY: C.C. SALMI/ERD 178

APPENDIX B.4.C SPECIFICATIONS FOR MICRO-BIORETENTION: RAIN GARDEN, LANDSCAPE INFILTRATION & INFILTRATION BERMS

- MATERIAL SPECIFICATIONS
THE ALLOWABLE MATERIALS TO BE USED IN THESE PRACTICES ARE DETAILED IN TABLE B.4-1.
- FILTERING MEDIA OR PLANTING SOIL
THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE MICRO-BIORETENTION PRACTICE THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF BERBERIS GRASS, QUERCUS, JONQUIN GRASS, OR OTHER NOXIOUS WEEDS AS SPECIFIED UNDER COMAR 15.08.01.05. THE PLANTING SOIL SHALL BE TESTED AND SHALL MEET THE FOLLOWING CRITERIA:
 - SOIL COMPONENT - LOAMY SAND OR SANDY LOAM (USDA SOIL TEXTURAL CLASSIFICATION).
 - ORGANIC CONTENT - MINIMUM 10% BY DRY WEIGHT (ASTM D 2974). IN GENERAL, THIS CAN BE MET WITH A MIXTURE OF LOAMY SAND (60%-65%) AND COMPOST (35% TO 40%) OR SANDY LOAM (30%), COARSE SAND (30%), AND COMPOST (40%).
 - CLAY CONTENT - MEDIA SHALL HAVE A CLAY CONTENT OF LESS THAN 5%.
 - PH RANGE - SHOULD BE BETWEEN 5.5 - 7.0. AMENDMENTS (E.G., LIME, IRON SULFATE PLUS SULFUR) MAY BE MIXED IN TO THE SOIL TO INCREASE OR DECREASE PH.THERE SHALL BE AT LEAST ONE SOIL TEST PER PROJECT. EACH TEST SHALL CONSIST OF BOTH THE STANDARD SOIL TEST FOR PH, AND ADDITIONAL TESTS OF ORGANIC MATTER, AND SOLUBLE SALTS. A TEXTURAL ANALYSIS IS REQUIRED FROM THE SITE STOCKPILED TOPSOIL IF IT IS IMPORTED, THEN A TEXTURE ANALYSIS SHALL BE PERFORMED FOR EACH LOCATION WHERE THE TOPSOIL WAS EXCAVATED.
- COMPACTION
IT IS VERY IMPORTANT TO MINIMIZE COMPACTION OF BOTH THE BASE OF BIORETENTION PRACTICES AND THE REQUIRED BACKFILL. WHEN POSSIBLE, USE EXCAVATION HOES TO REMOVE ORIGINAL SOIL. IF PRACTICES ARE EXCAVATED USING LOADERS, THE CONTRACTOR SHOULD USE WIDE TRACK OR MARSH TRACK EQUIPMENT, OR LIGHT EQUIPMENT WITH TURF TYPE TIRES. USE OF EQUIPMENT WITH NARROW TRACKS OR NARROW TIRES, RUBBER TIRES WITH LARGE LUGS, OR HIGH-PRESSURE TIRES WILL CAUSE EXCESSIVE COMPACTION RESULTING IN REDUCED INFILTRATION RATES AND IS NOT ACCEPTABLE. COMPACTION WILL SIGNIFICANTLY CONTRIBUTE TO DESIGN FAILURE.

- COMPACTION CAN BE ALLEVATED AT THE BASE OF THE BIORETENTION FACILITY BY USING A PRIMARY TILLING OPERATION SUCH AS CHISEL PLOW, RIPPER, OR SUBSOILER. THESE TILLING OPERATIONS ARE TO REFRACATURE THE SOIL PROFILE THROUGH THE 12 INCH COMPACTION ZONE. SUBSTITUTE METHODS MUST BE APPROVED BY THE ENGINEER. ROTOTILLERS TYPICALLY DO NOT TILL DEEP ENOUGH TO REDUCE THE EFFECTS OF COMPACTION FROM HEAVY EQUIPMENT.
- ROTOTILL 2 TO 3 INCHES OF SAND INTO THE BASE OF THE BIORETENTION FACILITY BEFORE BACKFILLING THE OPTIONAL SAND LAYER. PUMP ANY PONDED WATER BEFORE PREPARING (ROTOTILLING) BASE. WHEN BACKFILLING THE TOPSOIL OVER THE SAND LAYER, FIRST PLACE 3 TO 4 INCHES OF TOPSOIL OVER THE SAND, THEN ROTOTILL THE SAND/TOPSOIL TO CREATE A GRADATION ZONE. BACKFILL THE REMAINDER OF THE TOPSOIL TO FINAL GRADE. WHEN BACKFILLING THE BIORETENTION FACILITY, PLACE SOIL IN LIFTS 12" TO 18". DO NOT USE HEAVY EQUIPMENT WITHIN THE BIORETENTION BASIN. HEAVY EQUIPMENT CAN BE USED AROUND THE PERIMETER OF THE BASIN TO SUPPLY SOILS AND SAND. GRADE BIORETENTION MATERIALS WITH LIGHT EQUIPMENT SUCH AS A COMPACT LOADER OR A DOZER/LOADER WITH MARSH TRACKS.
- PLANT MATERIAL
RECOMMENDED PLANT MATERIAL FOR MICRO-BIORETENTION PRACTICES CAN BE FOUND IN APPENDIX A, SECTION A.2.3.

- PLANT INSTALLATION
COMPOST IS A BETTER ORGANIC MATERIAL SOURCE, IS LESS LIKELY TO FLOAT, AND SHOULD BE PLACED IN THE INVERT AND OTHER LOW AREAS. MULCH SHOULD BE PLACED IN SURROUNDING TO A UNIFORM THICKNESS OF 2" TO 3". SHREDDED OR CHIPPED HARDWOOD MULCH IS THE ONLY ACCEPTED MULCH. PINE MULCH AND WOOD CHIPS WILL FLOAT AND MOVE TO THE PERIMETER OF THE BIORETENTION AREA DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHREDDED MULCH MUST BE WELL AGED (6 TO 12 MONTHS) FOR ACCEPTANCE. ROOTSTOCK OF THE PLANT MATERIAL SHALL BE KEPT MOIST DURING TRANSPORT AND ON-SITE STORAGE. THE PLANT ROOT BALL SHOULD BE PLANTED SO 1/8TH OF THE BALL IS ABOVE FINAL GRADE SURFACE. THE DIAMETER OF THE PLANTING FIT SHALL BE AT LEAST SIX INCHES LARGER THAN THE DIAMETER OF THE PLANTING BALL. SET AND MAINTAIN THE PLANT STRAIGHT DURING THE ENTIRE PLANTING PROCESS. THOROUGHLY WATER GROUND BED COVER AFTER INSTALLATION. TREES SHALL BE BRACED USING 2" BY 2" STAKES ONLY AS NECESSARY AND FOR THE FIRST GROWING SEASON ONLY. STAKES ARE TO BE EQUALLY SPACED ON THE OUTSIDE OF THE TREE BALL. GRASSES AND LEGUME SEED SHOULD BE DRILLED INTO THE SOIL TO A DEPTH OF AT LEAST ONE INCH. GRASS AND LEGUME PLUGS SHALL BE PLANTED FOLLOWING THE NON-GRASS GROUND COVER PLANTING SPECIFICATIONS. THE TOPSOIL SPECIFICATIONS PROVIDE ENOUGH ORGANIC MATERIAL TO ADEQUATELY SUPPLY NUTRIENTS FROM NATURAL CYCLING. THE PRIMARY FUNCTION OF THE BIORETENTION STRUCTURE IS TO IMPROVE WATER QUALITY. ADDING FERTILIZERS DEFEATS, OR AT A MINIMUM, IMPEDES THIS GOAL. ONLY ADD FERTILIZER IF WOOD CHIPS OR MULCH ARE USED TO AMEND THE SOIL. ROTOTILL UREA FERTILIZER AT A RATE OF 2 POUNDS PER 1000 SQUARE FEET.

6. UNDERDRAINS

- UNDERDRAINS SHOULD MEET THE FOLLOWING CRITERIA:
- PIPE - SHOULD BE 4" TO 6" DIAMETER, SLOTTED OR PERFORATED RIGID PLASTIC PIPE (ASTM 758, TYPE PS 28, OR AASHTO-M-278) IN A GRAVEL LAYER. THE PREFERRED MATERIAL IS SLOTTED, 4" RIGID PIPE (E.G., PVC OF HDPE).
 - PERFORATIONS - IF PERFORATED PIPE IS USED, PERFORATIONS SHOULD BE 3/8" DIAMETER LOCATED 6" ON CENTER WITH A MINIMUM OF FOUR HOLES PER ROW. PIPE SHALL BE WRAPPED WITH A 1/4" (NO. 4 OR 4x4) GALVANIZED HARDWARE CLOTH.
 - GRAVEL - THE GRAVEL LAYER (NO. 57 STONE PREFERRED) SHALL BE AT LEAST 3" THICK ABOVE AND BELOW THE UNDERDRAIN.
 - THE MAIN COLLECTOR PIPE SHALL BE AT A MINIMUM 0.5% SLOPE.
 - A RIGID, NON-PERFORATED OBSERVATION WELL MUST BE PROVIDED (ONE PER EVERY 1,000 SQUARE FEET) TO PROVIDE A CLEAN-OUT PORT AND MONITOR PERFORMANCE OF THE FILTER.
 - A 4" LAYER OF PEA GRAVEL (1/8" TO 3/8" STONE) SHALL BE LOCATED BETWEEN THE FILTER MEDIA AND UNDERDRAIN TO PREVENT MIGRATION OF FINES INTO THE UNDERDRAIN. THIS LAYER MAY BE CONSIDERED PART OF THE FILTER BED WHEN BED THICKNESS EXCEEDS 24".

THIS MAIN COLLECTOR PIPE FOR UNDERDRAIN SYSTEMS SHALL BE CONSTRUCTED AT A MINIMUM SLOPE OF 0.5%. OBSERVATION WELLS AND/OR CLEAN-OUT PIPES MUST BE PROVIDED (ONE MINIMUM PER EVERY 1000 SQUARE FEET OF SURFACE AREA).

7. MISCELLANEOUS

THESE PRACTICES MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.

OWNER P.49

COLLEGE HOUSE LLC
8 PARK CENTER CT. STE.200
OWINGS MILLS, MD. 21117
TEL: 410-465-1950

OWNER / DEVELOPER P.50

HISTORIC ELLICOTT PROPERTIES
8 PARK CENTER CT. STE.200
OWINGS MILLS, MD. 21117
TEL: 410-465-1950

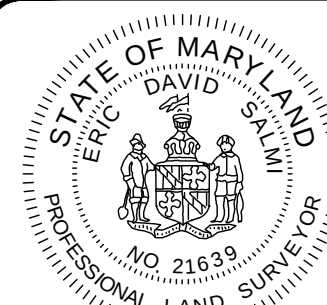
NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN PRELIMINARY ESD STORMWATER MANAGEMENT NOTES & DETAILS

TIMBER WOODS

LOTS 1-6 AND OPEN SPACE LOTS 7&8
PARCEL 50 (L 2011 F 56) AND
A RESUBDIVISION OF SWEAVER PROPERTY LOT 2 - PLAT 5347
NEW CUT ROAD
ELLICOTT CITY, MARYLAND 21043
ZONED: R-ED

EXSITE
ENGINEERING
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8165 Cypress Cedar Lane - Suite 201
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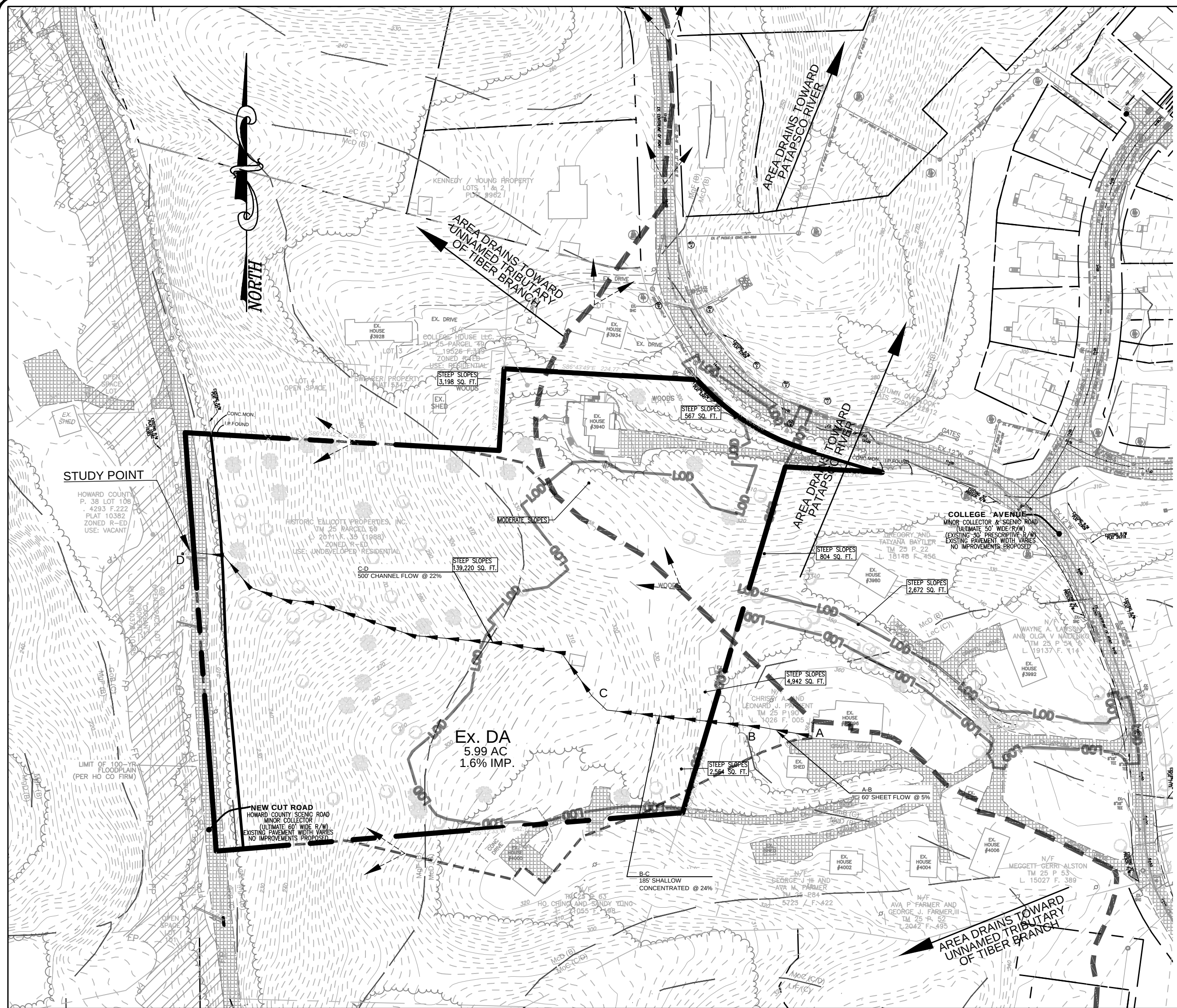


DESIGN BY: EXSITE
DRAWN BY: EDS
CHECKED BY: EXSITE
DATE: JULY 2026
SCALE: AS SHOWN
W.O. NO.: 25-010

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED BY OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
LAND SURVEYOR UNDER THE LAWS OF THE
STATE OF MARYLAND, LICENSE NO. 21639
EXPIRATION DATE: 01-03-2028

10 SHEET
OF 12

ERIC D. SALMI, PLS No.21639



PRE-DEVELOPMENT
DRAINAGE AREA MAP
SCALE: 1"=100'



POST-DEVELOPMENT
DRAINAGE AREA MAP
SCALE: 1"=100'

- LEGEND:**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED SPOT ELEVATION
 - EXISTING TREELINE
 - PROPOSED TREELINE
 - EXISTING EDGE OF PAVING
 - EXISTING SPECIMEN TREE W/ CRITICAL ROOT ZONE
 - EXISTING TREE
 - PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - FLOOD PLAIN OFFSITE
 - GgC (B)
GnB (C)
 - SOIL TYPE
 - EX. PAVING
 - PROPOSED PAVING
 - PROPOSED GRAVEL ACCESS ROAD
 - PRE-DEVELOPMENT CONDITION DRAINAGE AREA DIVIDE
 - PRE-DEVELOPMENT CONDITION TIBER / PATAPSCO WATERSHED DIVIDE
 - POST-DEVELOPMENT CONDITION DRAINAGE AREA DIVIDE
 - POST-DEVELOPMENT CONDITION TIBER/PATAPSCO WATERSHED DIVIDE

NOTE:
SUBJECT TO CHANGE WITH FINAL SWM DESIGN

PEAK DISCHARGE SUMMARY						
Study Point						
Pre Development Peak Discharge Conditions cfs	Adjusted * Pre Development Peak Discharge Conditions cfs	Post Development Unmanaged Peak Discharge cfs	Post Development Managed Peak Discharge to Control Facility cfs	Post Development Managed Peak Discharge from Control Facility cfs	Post Development Peak Discharge (* Unmanaged+Managed) cfs	
10 YEAR	6.8	6.1	5.4	13.5	1.0	6.0
100 YEAR	18.9	17.0	13.9	20.0	7.4	17.0
FLOOD	27.9	25.1	19.8	35.0	12.8	23.8
* 10% Reduction (Required Alternative Compliance)						

(1) THE LAST COLUMN IS THE ADDITION OF UNMANAGED DRAINAGE AREA FLOWS AND THE MANAGED AREA FLOWS AFTER THE ROUTING.
(2) PROPOSED CONDITIONS FLOWS ARE LESS THAN A 10% REDUCTION IN THE EXISTING (WOODS IN GOOD CONDITION) CONDITIONS FLOW.

MAPPED SOILS TYPES - HOWARD COUNTY, MARYLAND				
SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	Kw RANGE*
GcB	GLENNVILLE-COGRUS - Silt loam - 0 to 8 percent slopes	C	NO	0.32
MdD	MAJOR-MAJOR - Silt loam - 10 to 25 percent slopes, very rocky	B	NO	0.28
MdF	MAJOR-BANNERTOWN SANDY LOAMS - 25 to 65 percent slopes, rocky	B	NO	0.24
LmB	LEGORE-MONTALTO - Silt loam - 3 to 8 percent slopes	C	NO	0.64
LmC	LEGORE-SILT LOAM - 8 to 15 percent slopes, stony	C	NO	0.64

TAKEN FROM: USDA, SCS-WEB SOIL SURVEY, HOWARD COUNTY
K VALUES TAKEN FROM <https://www.howardcd.org/documents> - *K FACTORS (USE KW).

NOTE:
HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT

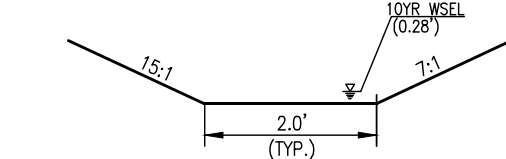
TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

APPROVED
PLANNING BOARD OF HOWARD COUNTY

PB # XXX
XX XX, 2026
DATE

PLANNING DIRECTOR

DATE



EXISTING WOODED CHANNEL
BELOW SAND FILTER OUTFALL
TYPICAL CROSS SECTION
(NOT TO SCALE)
 $Q_{10}=9.3cfs$ * $V_{10}=6.6$ fps
 $Q_{50}=0.28$
CHANNEL SLOPE=24.9%
* FLOW FROM SAND FILTER 7.4 CFS
EXISTING $Q_{10}=9.3cfs$ TO CULVERT

SCALE 1"=100'
50' 0' 100'

OWNER P.49
COLLEGE HOUSE LLC
8 PARK CENTER CT, STE.200
OWINGS MILLS, MD, 21117
TEL: 410-465-1950
OWNER / DEVELOPER P.50
HISTORIC ELLICOTT PROPERTIES
8 PARK CENTER CT, STE.200
OWINGS MILLS, MD, 21117
TEL: 410-465-1950

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
CR-123-2019 QUANTITY MANAGEMENT
PRE AND POST DEVELOPMENT CONDITION
DRAINAGE AREA MAPS
TIMBER WOODS

LOTS 1-8 AND OPEN SPACE LOTS 7&8
PARCEL 50 (L 2011) (P 35) AND
A RESUBDIVISION OF SWEAVER PROPERTY LOT 2 - PLAT 5347
NEW CUT ROAD
ELLICOTT CITY, MARYLAND 21043
ZONED: R-ED
TAX MAP 25 GRID 14
2ND ELECTION DISTRICT
PARCEL 49 (LOT2) & 50
HOWARD COUNTY, MARYLAND

EXSITE
ENGINEERING
AND
SURVEYING, LLC
8165 Cypress Cedar Lane - Suite 201
Ellicott City, Maryland 21043
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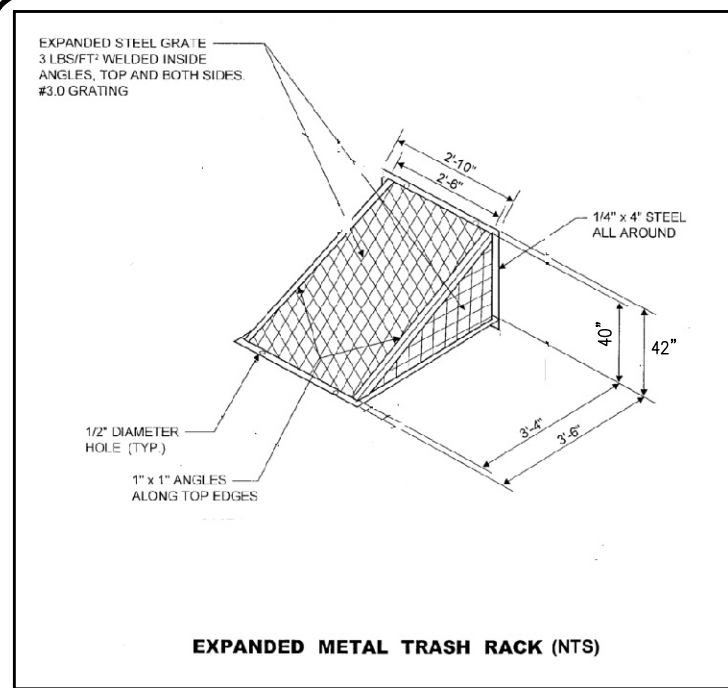


DESIGN BY: EXSITE
DRAWN BY: EDS
CHECKED BY: EXSITE
DATE: JULY, 2026
SCALE: AS SHOWN
W.O. NO.: 25-010

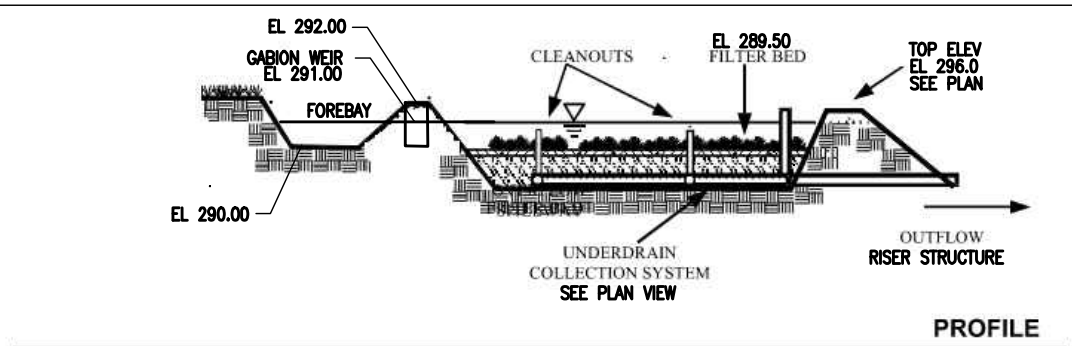
PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A FULLY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: 09-27-2028

11 SHEET
OF 12

ROBERT H. VOGEL, PE No.16193



STAGE 1 - LOW FLOW

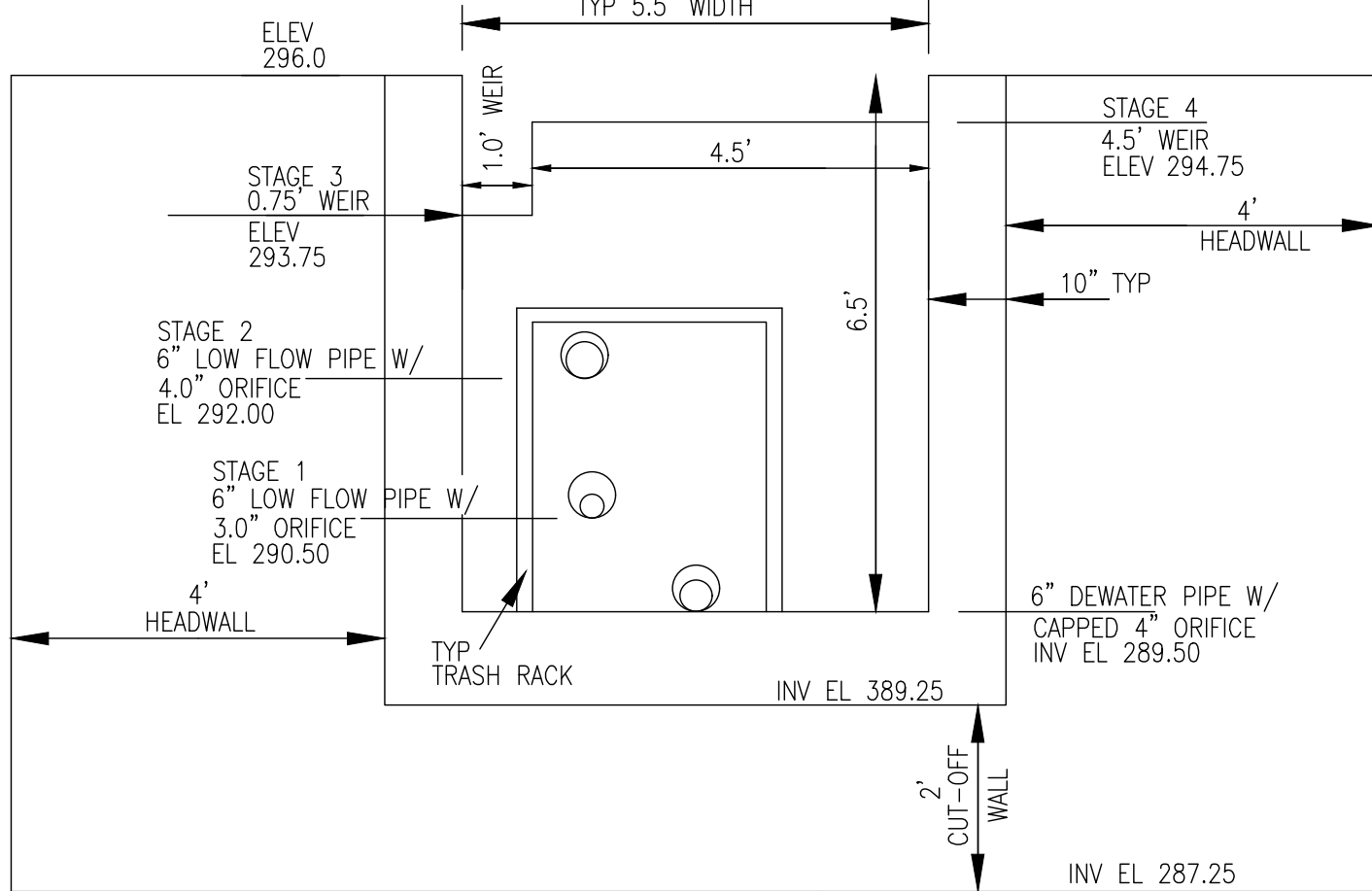


TYPICAL SECTION

STORMWATER FACILITY TYPICAL SAND FILTER DETAILS SCALE : HORIZONTAL - N.T.S.

NO GEOTEXTILE ON TOP
OR BOTTOM OF SAND
LAYER

SURFACE SAND FILTER (F-1) DATA CHART ELEVATIONS										
SWM Facility #	Facility ID	Ponding Depth (ft)	Ponding Elevation	Top of Topsoil ELEV.	Bottom of Topsoil ELEV.	Bottom of Sand ELEV.	Depth of Stone (ft)	Invert of 6" Underdrain INV. ELEV.	Depth of Stone (ft)	Surface Area (S.F.)
1	SF#1	1.00	290.50	289.50	289.25	287.75	1.00	286.75	0.83	2122



SWMF #1 - WEIR WALL DETAIL STAGE 1 - STAGE 4

SCALE : HORIZONTAL - 1" = 2'

TYPICAL SAND FILTER - PLANTING

SAND FILTER PLANTINGS SHALL CONSIST OF A MIXTURE:
REED CANARY GRASS - PHALARIS ARUNDINACEA
SWITCHGRASS - PANICUM VIRGATUM
CREEPING BENTGRASS - AGROSTIS PALUSTRIS
OR EQUAL COMBINATION OF COOL / WARM SEASON GRASSES
TOLERANT OF FREQUENT INUNDATION

2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME 1
CHAPTER 3 - SECTION 3.4.6 FILTERING MAINTENANCE CRITERIA

SURFACE SAND FILTERS (F-1) THAT HAVE A GRASS COVER SHOULD BE MOWED A MINIMUM OF 3 TIMES PER GROWING SEASON TO MAINTAIN MAXIMUM GRASS HEIGHTS LESS THAN 12 INCHES.

CONSTRUCTION OF SAND FILTER AREAS SHALL CONFORM TO THE SPECIFICATIONS OUTLINED IN APPENDIX B.3.

OPERATION AND MAINTENANCE SCHEDULE FOR STORMWATER MANAGEMENT FACILITY

STORMWATER MANAGEMENT FACILITY

ROUTINE MAINTENANCE (S.W.M.F. #1 / F-1 SAND FILTER)

1. FACILITY WILL BE INSPECTED ANNUALLY AND AFTER MAJOR STORMS. INSPECTIONS SHOULD BE PERFORMED PERFORMED DURING WET WEATHER TO DETERMINE IT IS FUNCTIONING PROPERLY.
2. TOP AND SIDE SLOPES OF THE EMBANKMENT SHALL BE MOWED A MINIMUM OF TWO (2) TIMES A YEAR, ONCE IN JUNE AND ONCE IN SEPTEMBER. OTHER SIDE SLOPES AND MAINTENANCE ACCESS SHOULD BE MOWED AS NEEDED.
3. DEBRIS AND LITTER NEXT TO THE OUTLET STRUCTURE SHALL BE REMOVED DURING REGULAR MOWING OPERATIONS AND AS NEEDED.
4. VISIBLE SIGNS OF EROSION IN THE POND AS WELL AS RIPRAP OUTLET AREAS SHALL BE REPAIRED AS SOON AS IT IS NOTICED.

NON-ROUTINE MAINTENANCE (HOWARD COUNTY)

1. STRUCTURAL COMPONENTS OF THE POND SUCH AS THE DAM, THE LOW RISE STRUCTURE, SAND FILTER & PIPES SHALL BE REPAIRED UPON DETECTION OF ANY DAMAGE. THE COMPONENTS SHOULD BE INSPECTED DURING ROUTINE MAINTENANCE OPERATIONS.
2. SEDIMENT SHOULD BE REMOVED WHEN ITS ACCUMULATION SIGNIFICANTLY REDUCES THE DESIGN STORAGE, INTERFERES WITH THE FUNCTION OF THE RISER, WHEN DEEMED NECESSARY FOR AESTHETIC REASONS, OR WHEN DEEMED NECESSARY BY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

Table B.3.1 Material Specifications for Sand Filters

Material	Specification/Test Method	Size	Notes
sand	clean AASHTO-M-6 or ASTM-C-33 concrete sand	0.02" to 0.04"	Sand substitutions such as Dabase and Graystone #10 are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.
peat	ash content: <15% pH range: 5.2 to 4.9 lime bulk density 0.12 to 0.15 g/cc	n/a	The material must be reed-sedge hemic peat, shredded, uncompacted, uniform, and clean.
leaf compost		n/a	
underdrain gravel	AASHTO-M-43	0.175" to 0.75"	
geotextile fabric (if required)	ASTM-D-4853 (puncture strength - 125 lb) ASTM-D-4602 (Tensile Strength - 160 lb)	6.00" thick equivalent opening size of #80 sieve	Must maintain 125 gpm per sq. ft. flow rate. Note: a 4" pea gravel layer may be substituted for geotextiles meant to "separate" sand filter layers. SIZES ONLY. USE 4" PEA GRAVEL BETWEEN SAND & UNDERDRAIN STONE.
impermeable liner (if required)	ASTM-D-4853 (thickness) ASTM-D-4412 (tensile strength 1.100 lb, elongation 200%) ASTM-D-4244 (Tear resistance - 150 lb/in) ASTM-D-471 (water adsorption: +8 to -2% mass)	30 mil thickness	Liner to be ultraviolet resistant. A geotextile fabric should be used to protect the liner from puncture.
underdrain piping	P779, Type PS 28 or AASHTO-M-278	4" - 40" rigid schedule 40 PVC or SDR35	3/8" port, @ 6" on center. 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes.
concrete (cast-in-place)	MSHA Standards and Specs. Section 902, Mix No. 3, F _c = 3500 psi, normal weight, air-entrained; conforming to meet ASTM-A-611-640	n/a	on-site testing of poured-in-place concrete required; 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland
concrete (pre-cast concrete)	per pre-cast manufacturer ASTM-A-36	n/a	SEE ABOVE NOTE structural steel to be hot-dipped galvanized ASTM-A-123

F-1 SAND FILTER

2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME 1
CHAPTER 3 - SECTION 3.4.6 FILTERING MAINTENANCE CRITERIA

THE SEDIMENT CHAMBER OUTLET DEVICES SHALL BE CLEANED/REPAIRED WHEN DRAWDOWN TIMES WITHIN THE CHAMBER EXCEED 36 HOURS. TRASH AND DEBRIS SHALL BE REMOVED AS NECESSARY.

SEDIMENT SHOULD BE CLEANED OUT OF THE SEDIMENTATION CHAMBER WHEN IT ACCUMULATES TO A DEPTH OF MORE THAN SIX INCHES. VEGETATION WITHIN THE SEDIMENTATION CHAMBER SHOULD BE LIMITED TO A HEIGHT OF 18 INCHES.

WHEN THE FILTERING CAPACITY OF THE FILTER DIMINISHES SUBSTANTIALLY (E.G., WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 72 HOURS), THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHOULD BE DISPOSED IN AN ACCEPTABLE MANNER (E.G., LANDFILL). SILT/SEDIMENT SHOULD BE REMOVED FROM THE FILTER BED WHEN THE ACCUMULATION EXCEEDS ONE INCH.

SURFACE SAND FILTERS (F-1) THAT HAVE A GRASS COVER SHOULD BE MOWED A MINIMUM OF 3 TIMES PER GROWING SEASON TO MAINTAIN MAXIMUM GRASS HEIGHTS LESS THAN 12 INCHES.

CONSTRUCTION OF SAND FILTER AREAS SHALL CONFORM TO THE SPECIFICATIONS OUTLINED IN APPENDIX B.3.

Appendix B.3. Construction Specifications for Sand Filters, Bioretention and Open Channels

B.3.A Sand Filter Specifications

1. Material Specifications for Sand Filters

The allowable materials for sand filter construction are detailed in Table B.3.1.

2. Sand Filter Testing Specifications

Underground sand filters, facilities within sensitive groundwater aquifers, and filters designed to serve urban hot spots are to be tested for water tightness prior to placement of filter media. Entrances and exits should be plugged and the system completely filled with water to demonstrate water tightness. Water tightness means no leakage for a period of 8 hours.

All overflow weirs, multiple orifices and flow distribution slots are to be field-tested to verify adequate distribution of flows.

3. Sand Filter Construction Specifications

Provide sufficient maintenance access (i.e., 12-foot-wide road with legally recorded easement). Vegetated access slopes are to be a maximum of 10%; gravel slopes to 15%; paved slopes to 25%.

Absolutely no runoff is to enter the filter until all contributing drainage areas have been stabilized. Surface of filter bed is to be level.

All underground sand filters should be clearly delineated with signs so that they may be located when maintenance is due.

Surface sand filters may be planted with appropriate grasses; see Appendix A.

"Pocket" sand filters (and residential bioretention facilities treating areas larger than an acre) shall be sized with a stone "window" that covers approximately 10% of the filter area. This "window" shall be filled pea gravel (3/4 inch stone).

OWNER P.49

COLLEGE HOUSE, LLC
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OWNER / DEVELOPER P.50

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8 PARK CENTER CT, STE.200
OWINGS MILLS, MD, 21117
TEL: 410-465-1950



ROBERT H. VOGEL, PE No.16193

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

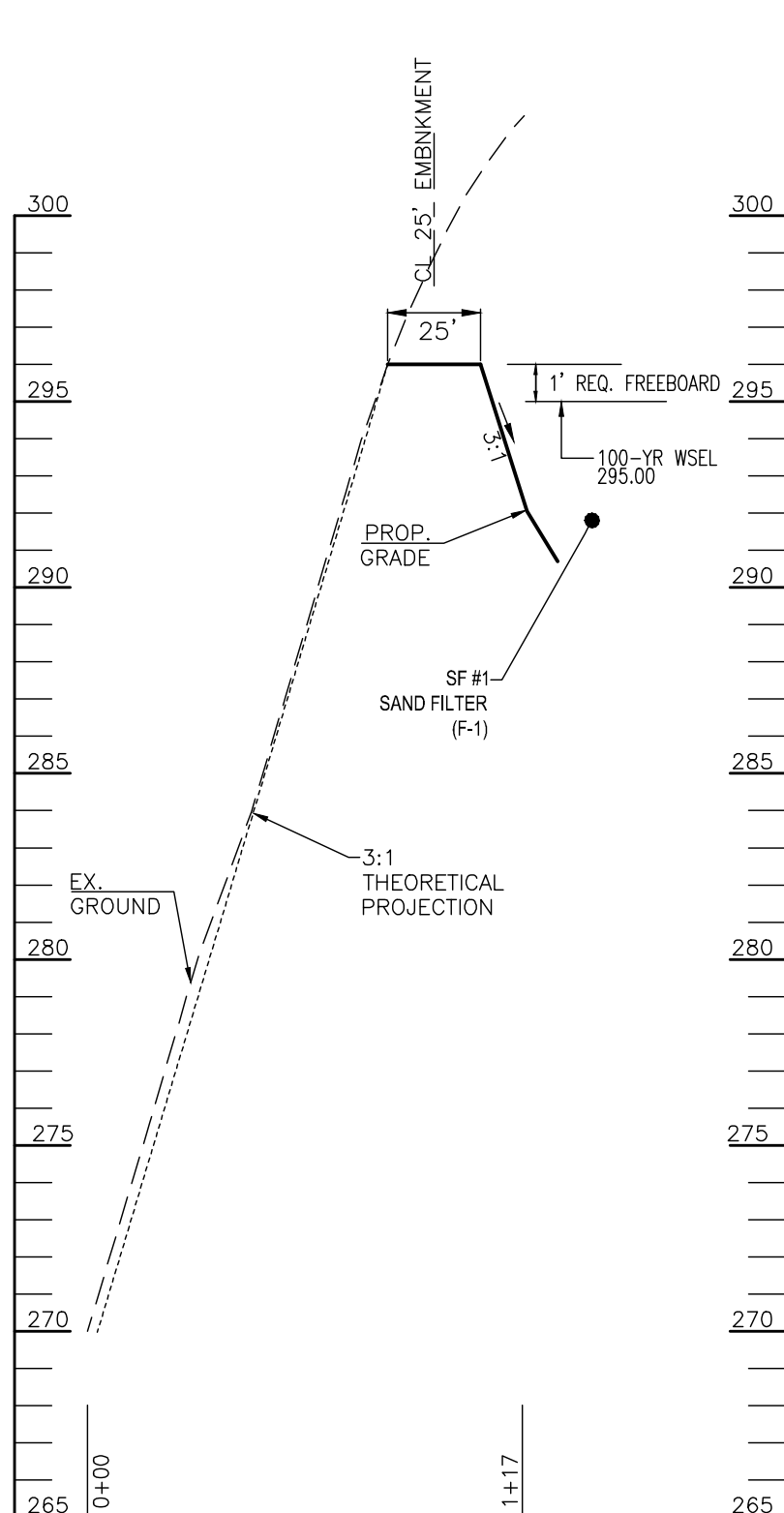
SWMF #1 - F-1 SAND FILTER

TYPE: MD, 378
HAZARD CLASS: "A"
PROP. DRAINAGE AREA: 3.14 AC.
EMBANKMENT ELEV: 296.00 TOP SAND FILTER
SURFACE SAND FILTER: 289.50
LOW FLOW INVERT: 290.50
SAND FILTER: 286.75 - 289.25 (SURFACE)

Q10: 1.0 CFS @ 293.78 @ FACILITY OUTLET
Q100: 7.4 CFS @ 295.00 @ FACILITY OUTLET
QFLOOD: 12.8 CFS @ 295.16 @ FACILITY OUTLET

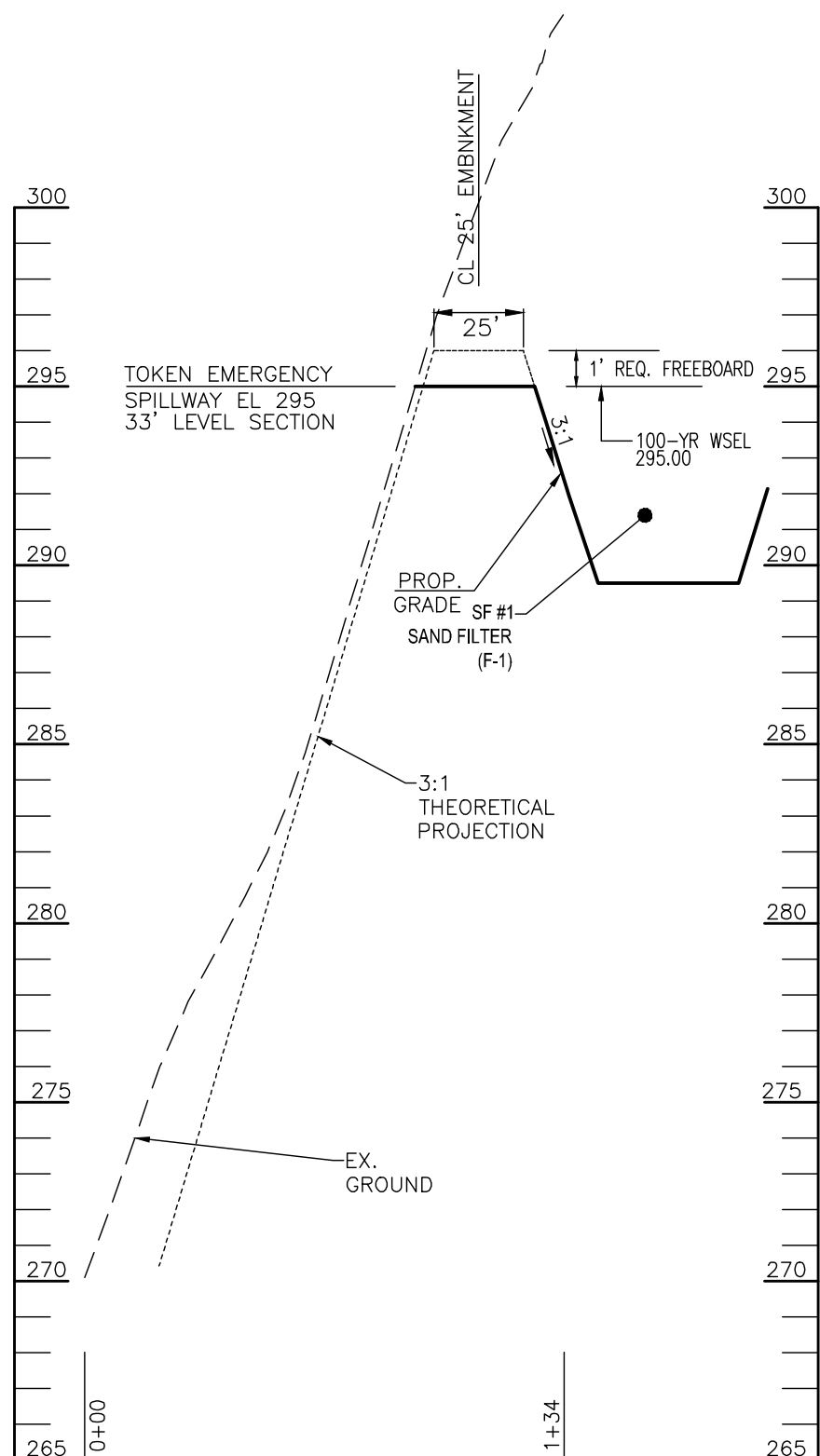
EXISTING CONDITION @ STUDY POINT (1)
Q10: 6.1 CFS
Q100: 17.0 CFS
QFLOOD: 25.1 CFS
(1) 10% REDUCTION

PROPOSED CONDITION @ STUDY POINT
Q10: 6.0 CFS
Q100: 17.0 CFS
QFLOOD: 23.8 CFS



CROSS SECTION #1

SCALE : HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



CROSS SECTION #2

SCALE : HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

MDE POLICY MEMORANDUM #3

DATED MAY 23, 2019

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

APPROVED
PLANNING BOARD OF HOWARD COUNTY

PB # XXX
XX XX, 2026
DATE

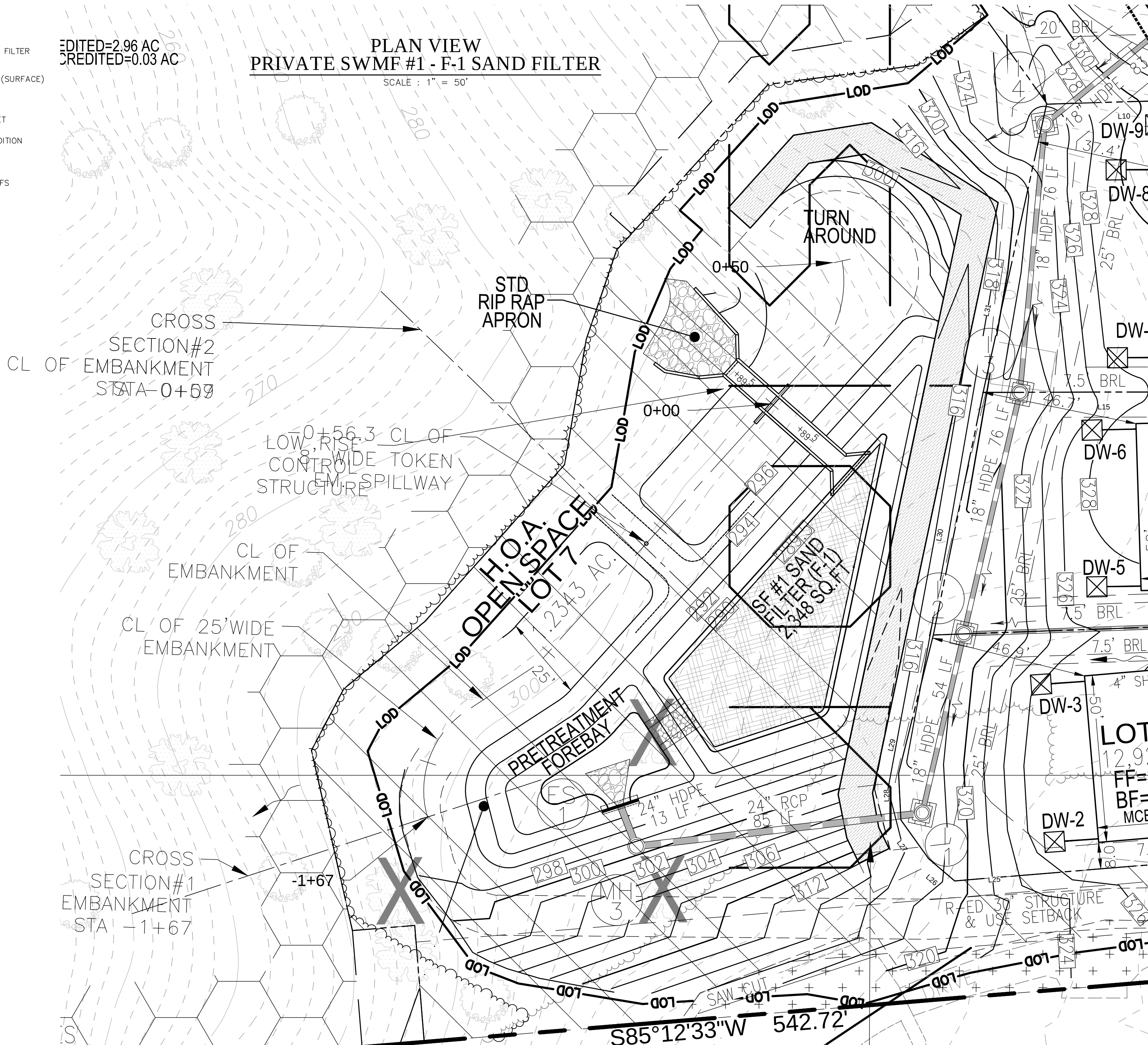
PLANNING DIRECTOR

DATE

EDITED=2.96 AC
CREDITED=0.03 AC

PLAN VIEW PRIVATE SWMF #1 - F-1 SAND FILTER

SCALE : 1" = 50'



NO.	REVISION	DATE
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PRELIMINARY EQUIVALENT SKETCH PLAN

MD-378 S.W.M.F. #1 - F-1 SAND FILTER - NOTES AND DETAILS

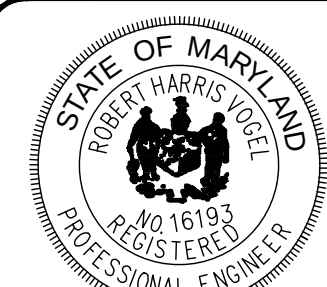
TIMBER WOODS

LOTS 1-8 AND OPEN SPACE LOTS 788
PARCEL 50 (LOT 1) (F.35) AND
A RESUBDIVISION OF SWEARER PROPERTY LOT 2 - PLAT 5347
NEW CUT ROAD
ELLICOTT CITY, MARYLAND 21043
ZONED: R-ED

TAX MAP 25, GRID 14
2ND ELECTION DISTRICT

EXSITE ENGINEERING AND SURVEYING, LLC

8165 Cypress Cedar Lane - Suite 201
Ellicott City, Maryland 21043
Tel: 410-320-8517 - connect@exsite-llc.com



DESIGN BY: EXSITE

DRAWN BY: EDS

CHECKED BY: EXSITE

DATE: JULY 2026

SCALE: AS SHOWN

W.O. NO.: 25-010

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12 SHEET OF 12

ROBERT H. VOGEL, PE No.16193