



HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
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 Lynda D. Eisenberg, AICP, Director FAX 410-313-3467

TECHNICAL STAFF REPORT

Planning Board Meeting of December 4, 2025

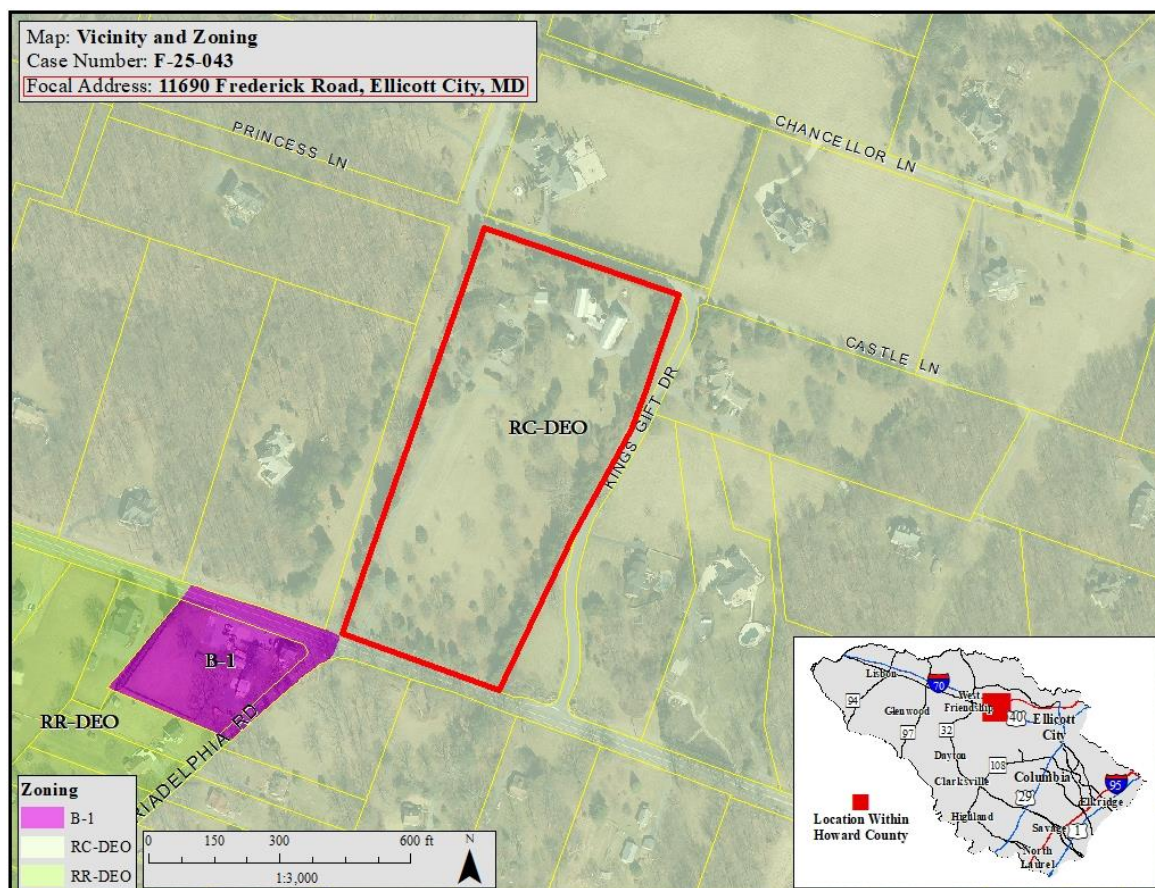
Case No./Petitioner: F-25-043/Charles Marks

Project Name: Marks Property, Lots 1 & 2

DPZ Planner: Jason Lenker, jlenker@howardcountymd.gov

Request: Scenic road plan review. A request to review Final Subdivision Plan (F-25-043) in accordance with Section 16.125(c)(1) of the Subdivision and Land Development Regulations for a minor subdivision that abuts or adjoins a scenic road.

Location: The property is located at 11690 Frederick Road in Ellicott City and is identified as Parcel 368 on Tax Map 16, Grid 14. The property is approximately 10.06 acres and contains a primary structure constructed in approximately 1916 and an accessory structure. The property is zoned RC-DEO (Rural Conservation – Density Exchange Option).



Vicinal Properties:

Surrounding properties are zoned RC-DEO and B-1 (Business, Local).

North: Kings Gift Drive, a private road. Across the road is a single-family lot, zoned RC-DEO.

South: Frederick Road (MD-144), a minor arterial SHA (State Highways Administration) owned public road right-of-way that is on the Howard County Scenic Road Inventory. Across the road are two single-family lots, zoned RC-DEO.

East: Kings Gift Drive, a private road. Across the road are two single-family detached lots, zoned RC-DEO.

West: Two single family lots, zoned RC-DEO.

Legal Notice:

The property was properly posted and verified by DPZ in accordance with the legal requirements for Planning Board public meetings.

Regulatory Compliance:

This project must comply with the Amended Fifth Edition of the Subdivision and Land Development Regulations, the Zoning Regulations, the Howard County Design Manual, the Adequate Public Facilities Ordinance, the Howard County Forest Conservation Manual and the Howard County Landscape Manual.

I. General Information**Plan History:**

- **ECP-24-050** – An Environmental Concept Plan to demolish the existing principal structure and multiple accessory structures and construct a new principal structure and accessory structure. Signed November 25, 2024
- **HPC-24-024** – Historic Preservation Committee meeting on June 6, 2024, to receive advisory comments for the demolition of the primary structure.
- **SDP-24-045** – A Site Development Plan to demolish all of the existing accessory structures and construct a new accessory structure. Signed December 31, 2024.
- **F-25-043** – A Final Subdivision Plan was submitted on May 22, 2025, to subdivide the property into two (2) residential lots.

Existing Environmental Conditions and Site Improvements:

The property contains 10.06 acres and is improved with an existing house and accessory structure. The house was constructed in approximately 1916. The property is lawn and contains a vegetated buffer around the entire perimeter of the property. There are no environmentally sensitive features on site.

Character and Quality of the Scenic Road:

The property has approximately 357 feet of public road frontage along Frederick Road (MD-144), which was designated as a scenic road by the County Council in 1994. At that time, the County's Scenic Road Inventory described Frederick Road as a rolling road that follows a historic alignment through residential and commercial areas, small towns, farmland, and forest. Views are often confined by the rolling terrain, but periodically, distant

and panoramic views are offered. Frederick Road was surveyed in four sections. The Inventory states that this section of Frederick Road is predominantly residential, with some scattered commercial uses. Scenic features include distant views of rolling farmland and forest, and a row of mature trees at the road's edge at Doughoregan Manor, several picturesque farmsteads and homes, small areas of forest, a pond, and a small stream paralleling the road.

A visual assessment was provided in accordance with Section 16.125(c)(4)(iii) of the Subdivision and Land Development Regulations. The visual assessment complies with the submission requirements listed in subsections a through e. The assessment describes the character and quality of scenic Frederick Road.

This section of Frederick Road (MD-144) is generally straight with rolling hills. This State Highway Administration owned roadway has a variable paving width and a 66' Right of Way. Along the subject property's frontage, the road width is approximately 30.4' wide and gently slopes upward to the west toward Triadelphia Road. The road is in good condition and has a small shoulder on the northern side of the road. There are no curbs or sidewalks along this section of Frederick Road. There are several utilities within, and along the existing roadway that include utility poles and overhead utility lines. The properties adjacent to the roadway are mainly single-family detached residential lots and some scattered commercial properties as well. The views from the existing roadway are primarily landscaped grass lawns with 1- and 2-story houses with individual asphalt driveways. Where tree cover exists, the cover generally consists of landscape trees, however, some pockets of forested areas exist adjacent to the roadway.

This development proposes a two-lot subdivision. The existing accessory structure located on the proposed Lot 1 will remain and is to be converted to a single-family dwelling to serve as the principal structure for Lot 1 pending plan approval for the subdivision. The existing principal structure on the proposed Lot 2 remains but will be demolished in the future in order to construct a new dwelling on Lot 2. The subdivision will utilize public water and private septic. The necessary water house connections and sewage disposal areas to support both lots currently exist on site. The existing driveway will remain unchanged and will provide access for both Lots 1 & 2. The width of the existing driveway is 19.6 feet which meets the 16-foot minimum width requirement to serve as a use-in-common driveway. There is no disturbance proposed with this Final Subdivision Plan.

The Petitioner surveyed approximately 50 trees with a 12" diameter or larger that buffers the proposed subdivision and the scenic road. No trees are proposed for removal with this subdivision. A survey plan of existing vegetation has been included as an exhibit attached with this staff report.

II. Planning Board Criteria

In accordance with Section 16.125(c)(5)(i) and (ii) of the Subdivision and Land Development Regulations, the following criteria must be considered by the Planning Board when evaluating the initial plan submittal.

- 1. Access. Whether the property has frontage on a non-scenic road, the impacts to environmental features, and traffic safety.**
 - a. Wherever practicable, access shall be located along a non-scenic road.**
Access to and from the proposed subdivision will be located on Frederick Road (MD-144). There are no other alternatives for access along a non-scenic public road.
 - b. Only to the extent vehicular access cannot be practicably located along a non-scenic road, access along a scenic road shall be permitted at an existing driveway location.**
The existing driveway that provides access to the subject property off of Frederick Road is to remain in its current location and configuration. No expansion of the existing driveway is proposed.

- c. **Only to the extent vehicular access cannot be practicably located along a non-scenic road or at an existing driveway, additional access along a scenic road may be permitted.**

This criterion is not applicable as the subdivision will be utilizing the existing driveway for access, and no additional access points are proposed.

- d. **To the extent that any access is permitted along a scenic road, such access shall preserve the alignment, topography and surroundings to minimize interference with views from the road while ensuring public safety.**

There is no proposed change in access associated with this subdivision. The existing alignment, topography, and surroundings will remain unchanged, and there will be no interference with views from the road.

2. Buffers. The buffer preserves or enhances the visual character of the road and surrounding area, and whether access minimizes impacts to the buffer.

This subdivision is within the Planned Service Area but is not considered a new major subdivision that requires a minimum 100-foot continuous vegetated buffer per Section 16.125(c)(2) of the Subdivision and Land Development Regulations. There is an approximately 50-foot-wide vegetated buffer that exists along most of the property's scenic road frontage. The existing vegetation along the scenic road will be retained to preserve the visual character of the scenic road. Since the existing driveway is to be retained in its current condition, access to the property results in no impacts to the existing buffer.

DocuSigned by:

Lynda Eisenberg

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Lynda Eisenberg, AICP, Director
Department of Planning and Zoning

11/19/2025

Date