

HOWARD COUNTY
PLANNING BOARD

CSDP-26-002

Clapp Deck Rebuild

9090 Goldamber Garth
Columbia, MD 21045

Planning Board Presentation
September 17, 2026



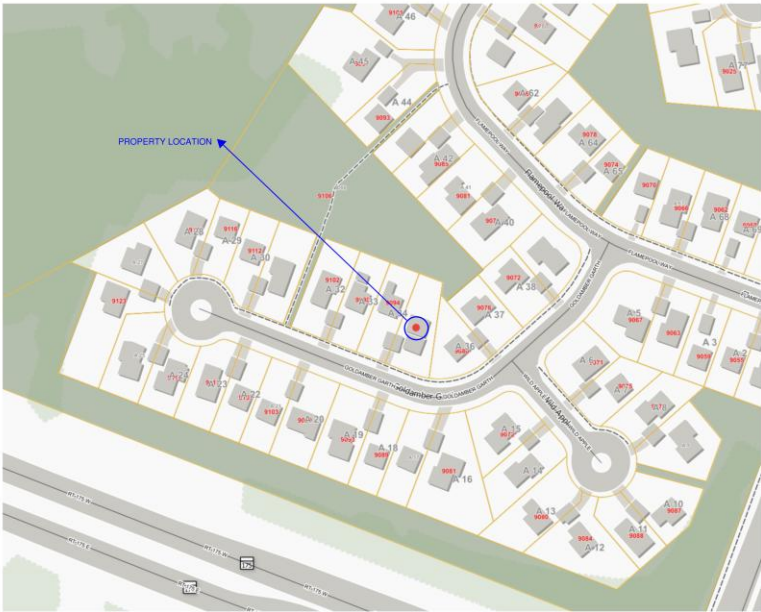
Clarksville Construction Services

Property Location

Existing single-family residence within the Village of Long Reach

PROPERTY LOCATION

9090 GOLDAMBER GARTH, COLUMBIA, MD 21045



Search Tax Maps		No Ground Rent Redemption on File				No Ground Rent Registration on File			
Special Tax Recapture: None									
Account Number:									
District - 16 Account Identifier - 123552									
Owner Information									
Owner Name:		CLAPP JASON CLAPP JUDITH L				Use:		Principal Residence:	
Mailing Address:		9090 GOLDAMBER GARTH COLUMBIA MD 21045				Deed Reference:		RESIDENTIAL YES /21875/ 00215	
Location & Structure Information									
Premises Address:		9090 GOLD AMBER GARTH COLUMBIA 21045-0000				Legal Description:		LOT A-35 S1 AR 1 9090 GOLD AMBER GARTH VIL LONGREACH	
Map:	Grid:	Parcel:	Neighborhood:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No:
0036	0005	0342	1601010114	1103			A 35	2027	Plat Ref:
Town: None									
Primary Structure Built:		Above Grade Living Area			Finished Basement Area		Property Land Area		County Use
1973		1,872 SF					7,165 SF		

PROJECT SUMMARY

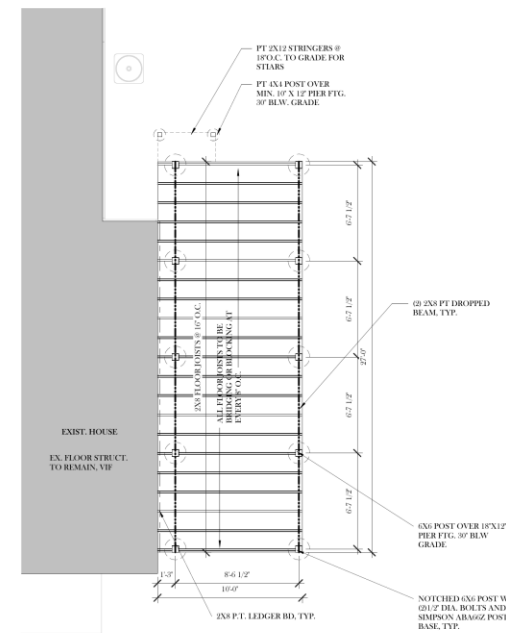
Address
9090 Goldamber Garth
Columbia, MD 21045

Land Use
Residential - Single Family

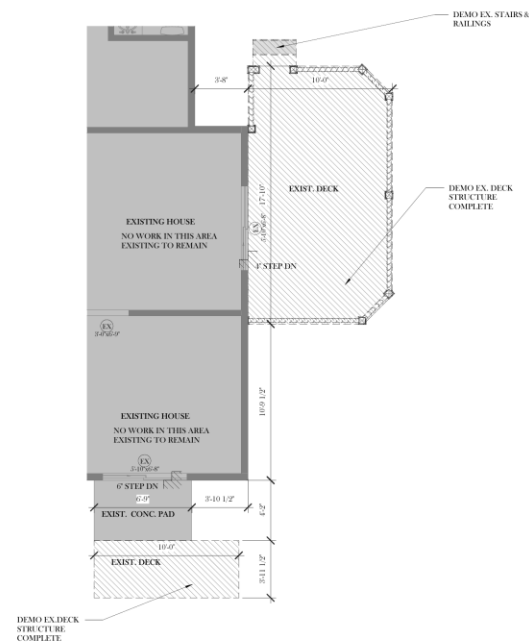
Lot Area
7,165 SF (0.16 acres)

Existing Deck / Demolition Plan

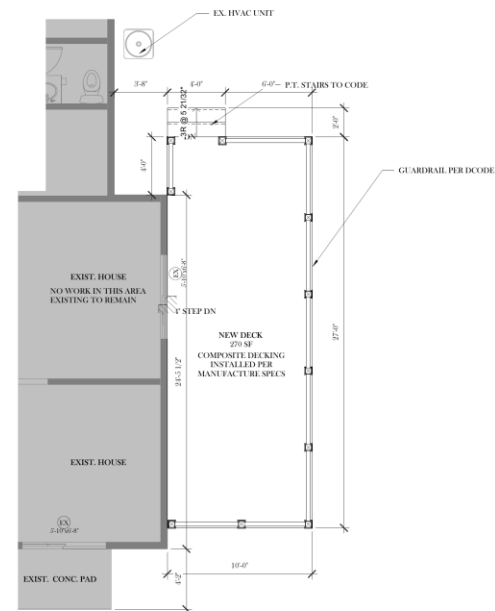
The existing rear deck occupies substantially the same rear-yard area as the proposed rebuild.



1 PROPOSED DECK FNDN & FRAMING PLAN
A101 1/4" = 1'-0"



2 DEMO-FIRST FLOOR PLAN
A101 1/4" = 1'-0"



3 PROPOSED FIRST FLOOR PLAN
A101 1/4" = 1'-0"

- GENERAL FRAMING NOTES
- A. DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL PLANS FOR DIMENSIONS.
 - B. TRUSS JOIST LAYOUT AS SHOWN IS FOR REFERENCE ONLY. SEE TRUSS JOIST MANUFACTURER'S DRAWINGS FOR CONSTRUCTION.
 - C. TRUSS JOIST MANUFACTURER TO REFERENCE INTENDED DESIGN LAYOUT FOR BEARING POINTS & SPACING.
 - D. CONTRACTOR/BUILDER TO PROVIDE INFORMATION FOR PERMIT SUBMITTAL.
 - E. JOIST MANUFACTURER RESPONSIBLE FOR ALL JOIST DESIGN.
 - F. ALL JOISTS FOR ROOF BEARING TO CONTINUE TO FOUNDATION OR TO HEADERS AS REQUIRED.
 - G. NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO FABRICATION.
 - H. ALL FASTENERS TO CONTACT W/ PAINTED WOOD TO BE GALVANIZED OR STAINLESS STEEL - R1093.
 - I. ALL SUB FLOOR TO BE GULLED AND SCREWED.
 - J. ALIGN FASCIA PER ELEVATION.

CLARKSVILLE CONSTRUCTION SERVICES, INC.
7880 COCA COLA DRIVE
CLARKSVILLE, TN 37040
EST. 1999

REVISION	DATE
BASE	05/20/2026

OFFICIAL COUNTY USE ONLY

CLAPP DECK REBUILD
9090 GOLDAMBER GARTH
COLUMBIA, MD 21045
DW21504

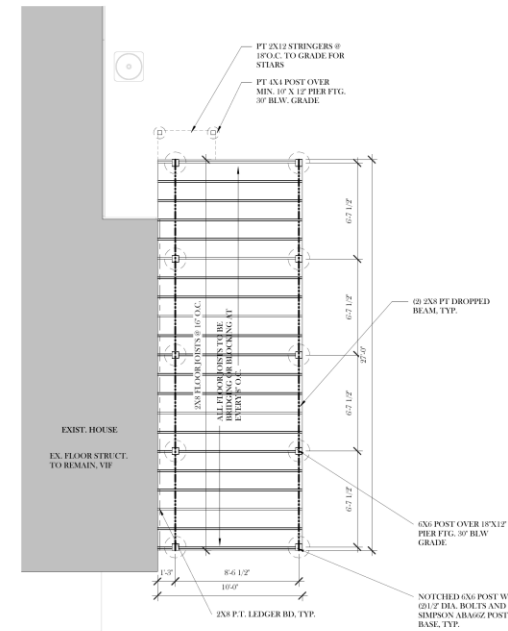
SHEET	DATE	BY
FOUNDATION & FRAMING & FLOOR PLANS	05/20/2026	DM/91504

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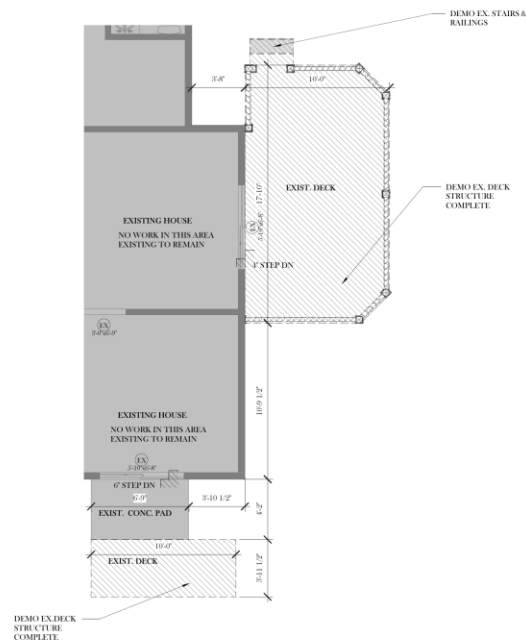
EXISTING DECK 10' W x 17'-10" L Deck structure to be removed

Proposed Deck Plan

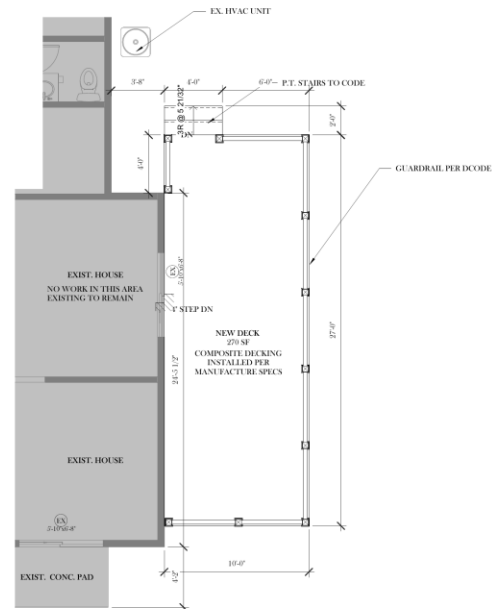
The replacement deck remains in substantially the same rear-yard location.



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EST. 1999

REVISION	DATE
BASE	05/20/2026

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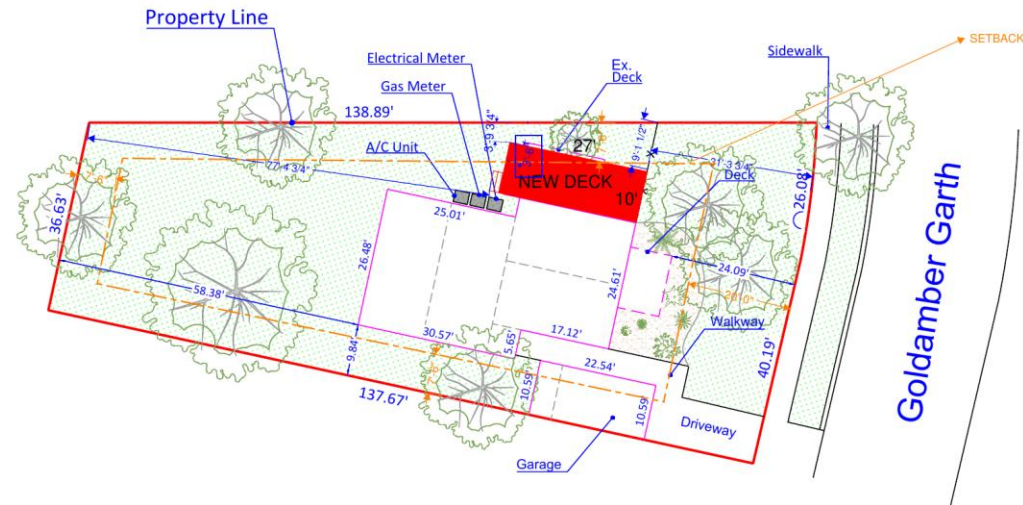
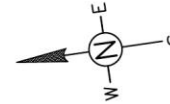
CLAPP DECK REBUILD
9090 GOLDAMBER GARTH
COLUMBIA, MD 21045
DW21504

SHEET	DATE	REV
FOUNDATION & FRAMING & FLOOR PLANS	05/20/2026	1

PROPOSED DECK 10' W x 27' L | 270 SF

Large-format site plan showing the existing/proposed deck location and requested side setback.

0 10 20 UNIT: FEET 60



Parcel No. (APN) 16-123552
Land Use RESIDENTIAL
SINGLE FAMILY RESIDENCE
Lot Area 7,165 SF (0.16 ACRES)

ADDRESS: 9090 Goldamber Garth
Columbia, MD 21045
Scale: 1"=20'

THIS IS NOT A LEGAL SURVEY, NOR IS IT INTENDED TO BE OR REPLACE ONE

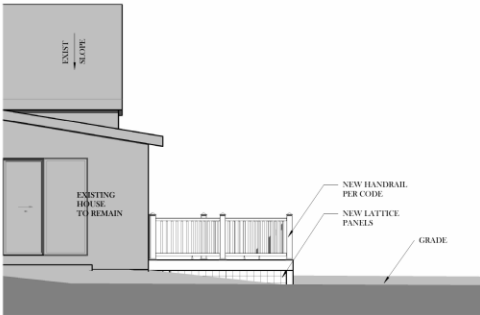
This work product represents only generalized locations of features, objects or boundaries and should not be relied upon as being legally authoritative for the precise location of any feature, object or boundary.

PROPOSED 3'-9 3/4"

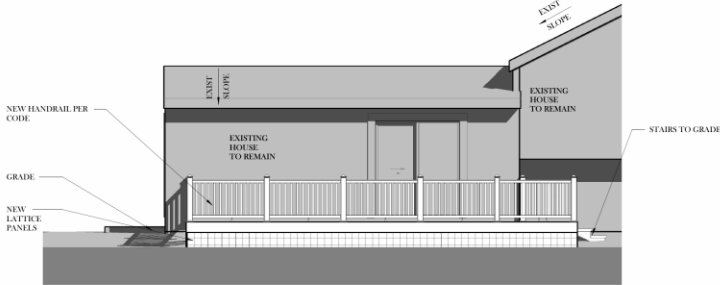
Date: May 13, 2026

Proposed Elevations

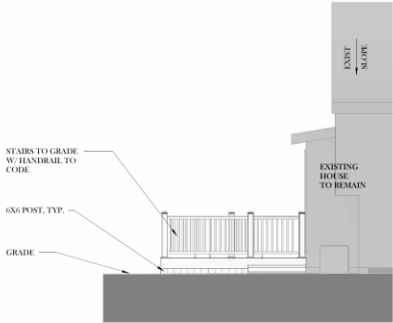
The existing house remains; the work is limited to the rear deck rebuild.



1 FRONT ELEVATION
A201 1/4" = 1'-0"



2 RIGHT ELEVATION
A201 1/4" = 1'-0"



3 REAR ELEVATION
A201 1/4" = 1'-0"



REVISION	DATE
DATE	05/20/2026

OFFICIAL COUNTY USE ONLY

PROJECT NAME AND ADDRESS
CLAPP DECK REBUILD
9090 GOLDAMBER GARTH
COLUMBIA, MD 21045
DW21.504

ELEVATIONS			
SHEET	DATE	PROJECT	
	05/20/2026	DW21.504	
A201			4 OF 6

24X36 SHEET, DO NOT SCALE
DRAWINGS

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Thank you

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