

Design Advisory Panel Presentation

Blue Stream Towns 3

September 28, 2017

Existing site plan images courtesy of Google Earth

MANGAN GROUP ARCHITECTS

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Design Philosophy

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Entry Signage



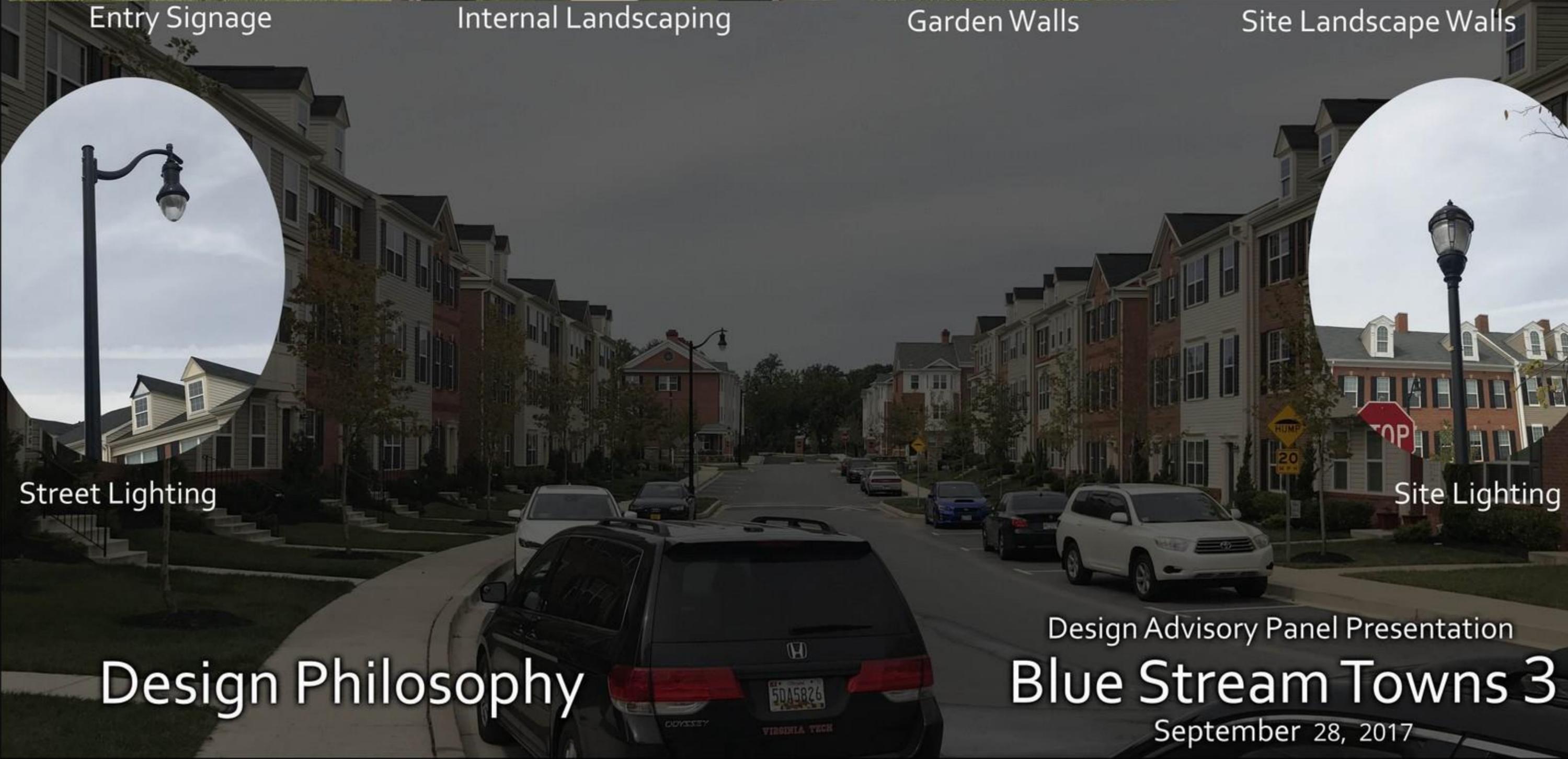
Internal Landscaping



Garden Walls



Site Landscape Walls



Street Lighting

Site Lighting

Design Philosophy

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Entry Signage



Internal Landscaping



Garden Walls



Site Landscape Walls

Blue Stream Drive functions as the predominant conduit between the various Blue Stream communities. The road section includes a common garden wall, street trees, parallel parking and sidewalks which provide an element of cohesiveness.

As with the other townhouse sections, there is proposed sidewalk throughout the interior of the project connecting the pool, parking, walking trails, dog parks and other amenities. There will be pocket parks consisting of benches, landscaping and a tot lot. A pathway is proposed within the open space which will also serve to connect the currently proposed project with the recently completed Brompton House II community. The project is bordered by open space/floodplain, Meadowridge Business Park (retaining wall), I-95 and the Brompton House II community.

We used common architectural elements and materials to create a complementary context for the various building types in the community. We used dormers, and reverse gables to break up the roof massing. Shutters, boxed bays, keystones, and brick coursing were used to help break down the scale of the front elevations, and the side end elevations carry the eave lines across the gable to reduce the verticality here, and well as using bays to help break up the massing at the end wall.

A mixture of brick and siding was also used in the townhouse product to help distinguish each home at the front elevations, however the overall material palette remains simple enough to maintain an aesthetic cohesion throughout the community.



Street Lighting



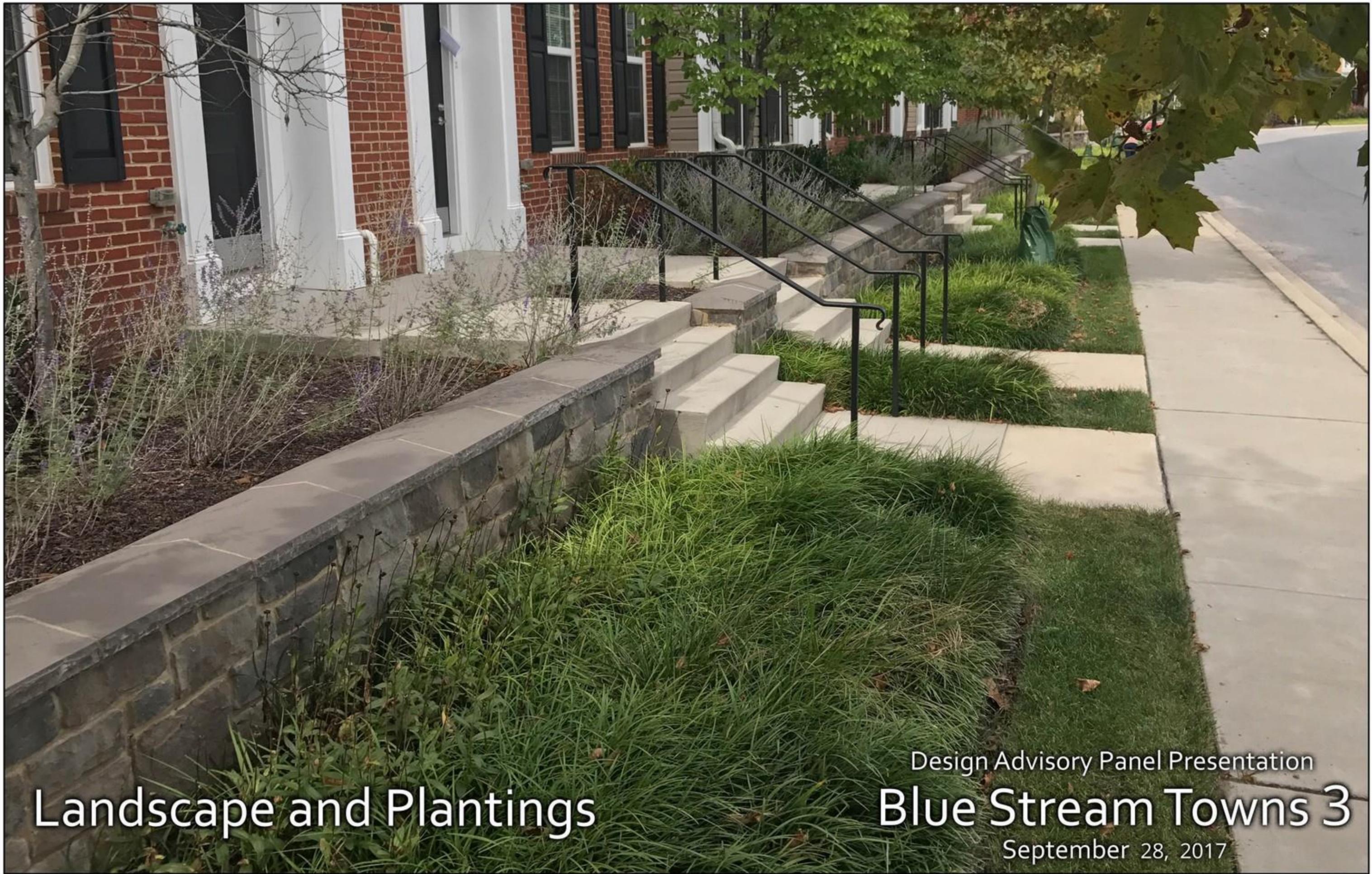
Site Lighting

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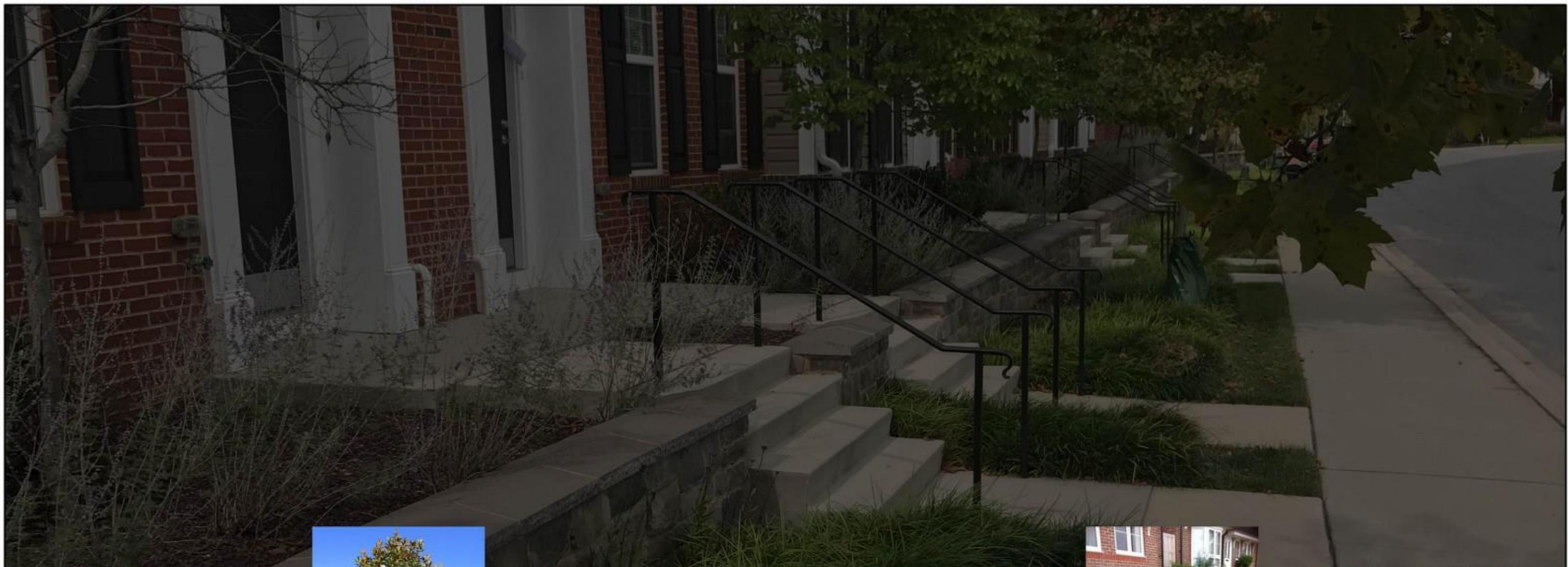


Landscape and Plantings

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Virginia Sweetspire
"Henry's Garnet"



Dwarf Southern
Magnolia



Limelight
Hydrangea



Inkberry
Holly



Otto Luyken
Cherry Laurel



Korean Spice
Viburnum

Landscape and Plantings

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Hightower
Willow Oak



Red Maple
October Glory



Bloodgood London
Plane Tree



River Birch



White Oak



Virginia Sweetspire
"Henry's Garnet"



Dwarf Southern
Magnolia



Limelight
Hydrangea



Inkberry
Holly



Otto Luyken
Cherry Laurel



Korean Spice
Virburnum

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Vicinity Map
(Not to Scale)

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The Blue Stream development, nestled in a shallow valley alongside the creek from which it draws its name, is bounded to the northwest by the northbound lanes of Interstate 95 and to the southeast by US Route 1, from which access is provided. Located in a key growth area directly adjacent to the region's major transportation arteries, residents have ever-increasing access to local retail and dining as well as easy travel to regional destinations. Along with other new residential projects in the area, Blue Stream has served as an engine for further development, adding to the critical population mass driving the economic engine of the area.

Proposed
Towns 3

Blue Stream
Development

MD 175

Interstate 95

MD 100

US Route 1



Vicinity Map
(Not to Scale)

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The existing site comprises the next residential area of the overall development, situated between steep slopes, mostly off-site, to the north and the existing storm water management facilities to the southwest. Between these two natural boundaries, the land has been rough-graded in anticipation of this phase of construction. An existing sound wall along the interstate right-of-way will be retained. Forest conservation areas along the west and southwest portions of the site will be maintained and protected during construction.

I-95 North



Blue Stream Drive

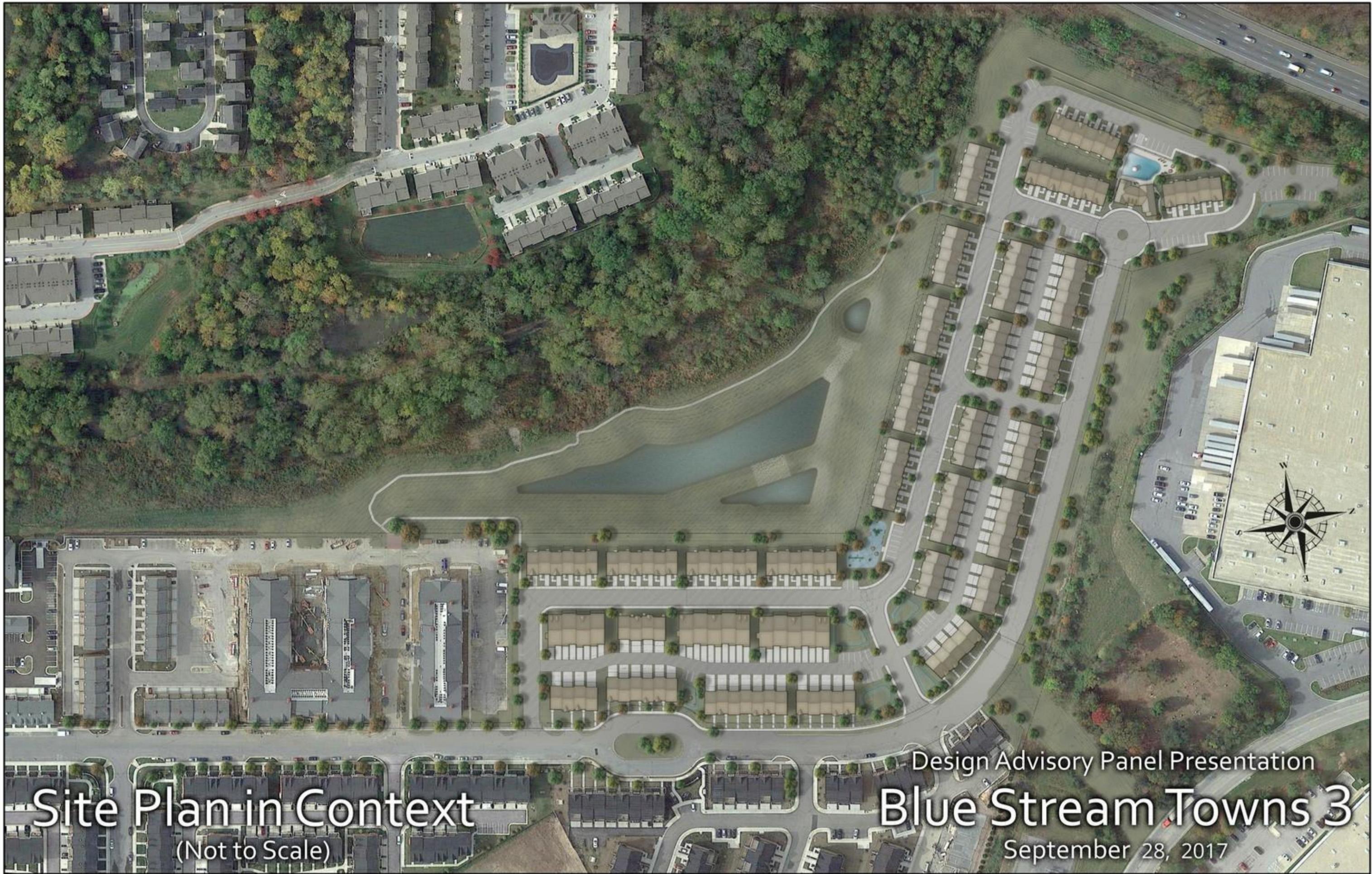
Existing Conditions

(Not to Scale)

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Site Plan in Context

(Not to Scale)

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The final build-out of this section envisions an extension of Blue Stream Drive to the northwest, terminating in a round-about with a community clubhouse and pool area. The existing storm water management area provides a buffer of open space along the southwest boundaries. Blue Stream Drive itself is flanked by townhouses on one side and a tree-lined hillside on the other. Joining the existing sound wall at the northwest end of the site, a retaining wall is proposed, lowering the proposed structures relative to the existing buffer. A walking trail loops around the storm water ponds and amenities are located throughout the site. With a total of 180 residential units, three types of townhouses are proposed in order to provide for different resident needs and site conditions.

Blue Stream Drive

Blue Stream Drive

I-95 North



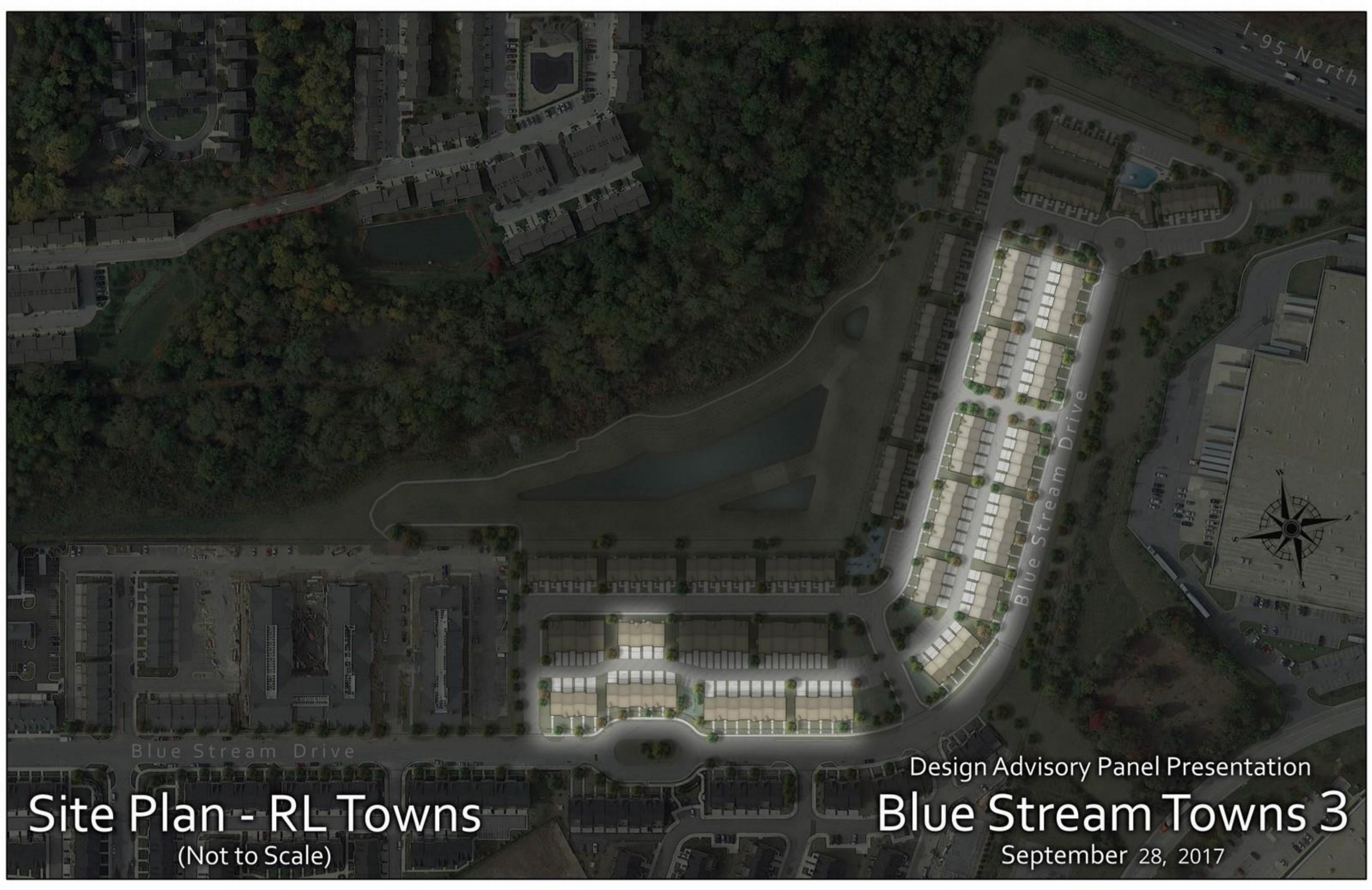
Site Plan in Context

(Not to Scale)

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Site Plan - RL Towns

(Not to Scale)

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Along Blue Stream Drive and the inside of the loop road rear-load townhouses are located. These match the style and materials of the previous two sections of the development. Each residence is 20' -0" wide and 44'-4" in height.



Townhomes along Blue Stream Drive are to use the more-formal all-brick facade (left) while the residences along the loop road are to use the more-casual half-brick option (above.)

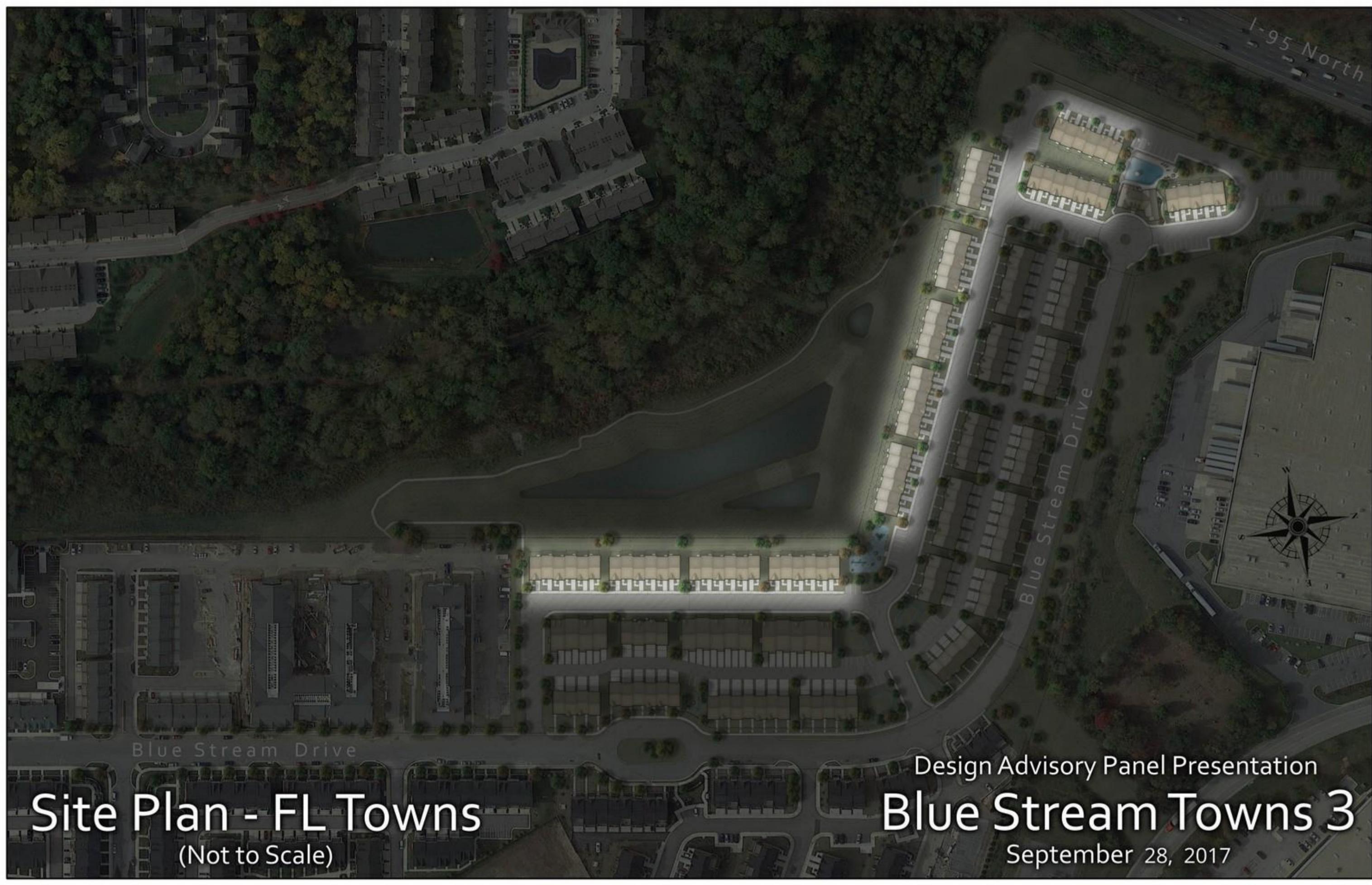


Blue Stream Drive

Site Plan - RL Towns

(Not to Scale)

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Site Plan - FL Towns

(Not to Scale)

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Front-load townhomes are located along the neighborhood's perimeter, taking advantage of the unobstructed views afforded by the ponds. Each residence is 20' -0" wide and 44'-4" in height. Style and materials match the half-brick "casual" rear-load townhomes opposite them along the loop road. Each residence has its own front porch and concrete walkway as well as an optional rear deck.

Blue Stream Drive

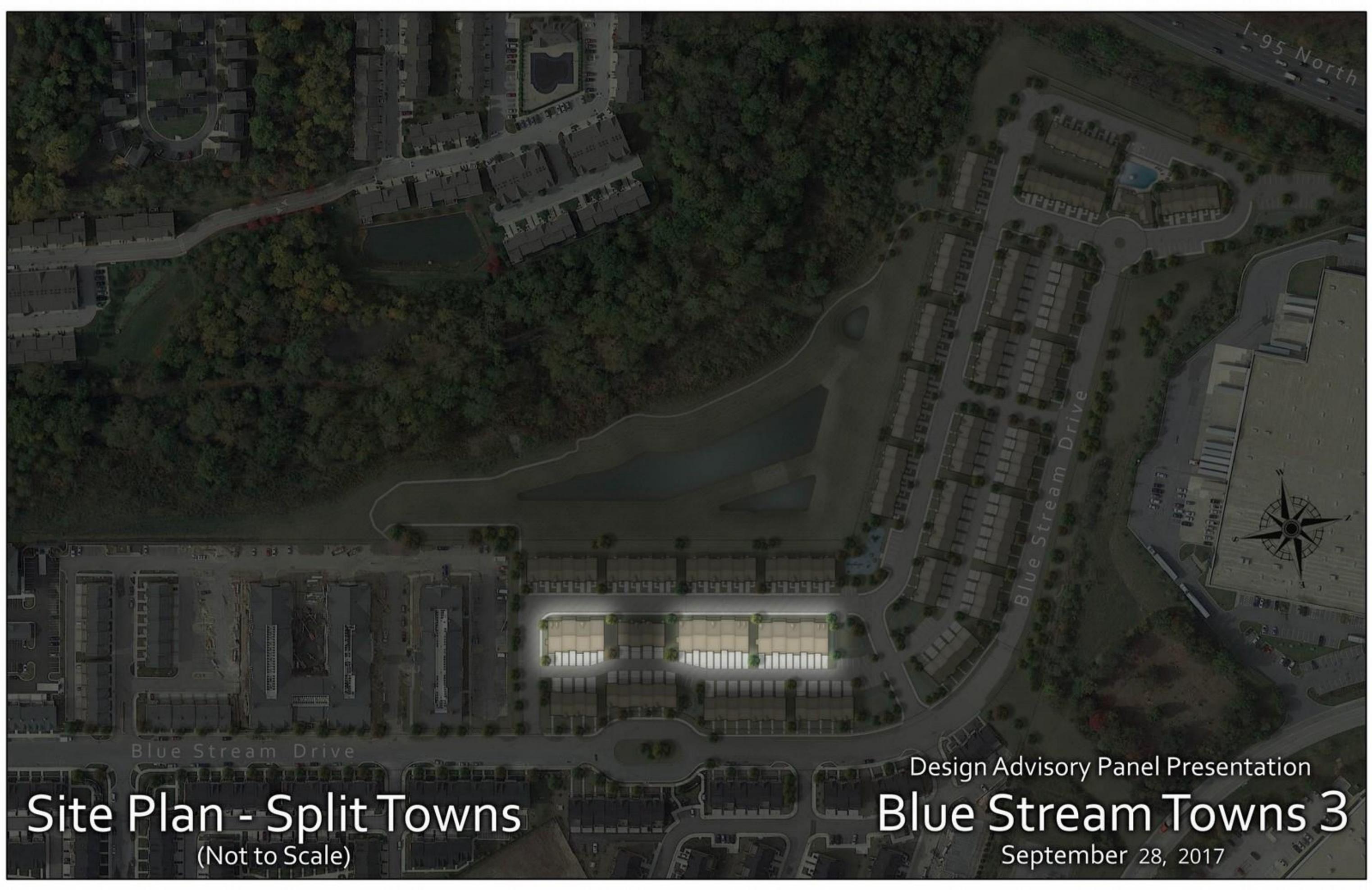
Site Plan - FL Towns

(Not to Scale)

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Site Plan - Split Towns

(Not to Scale)

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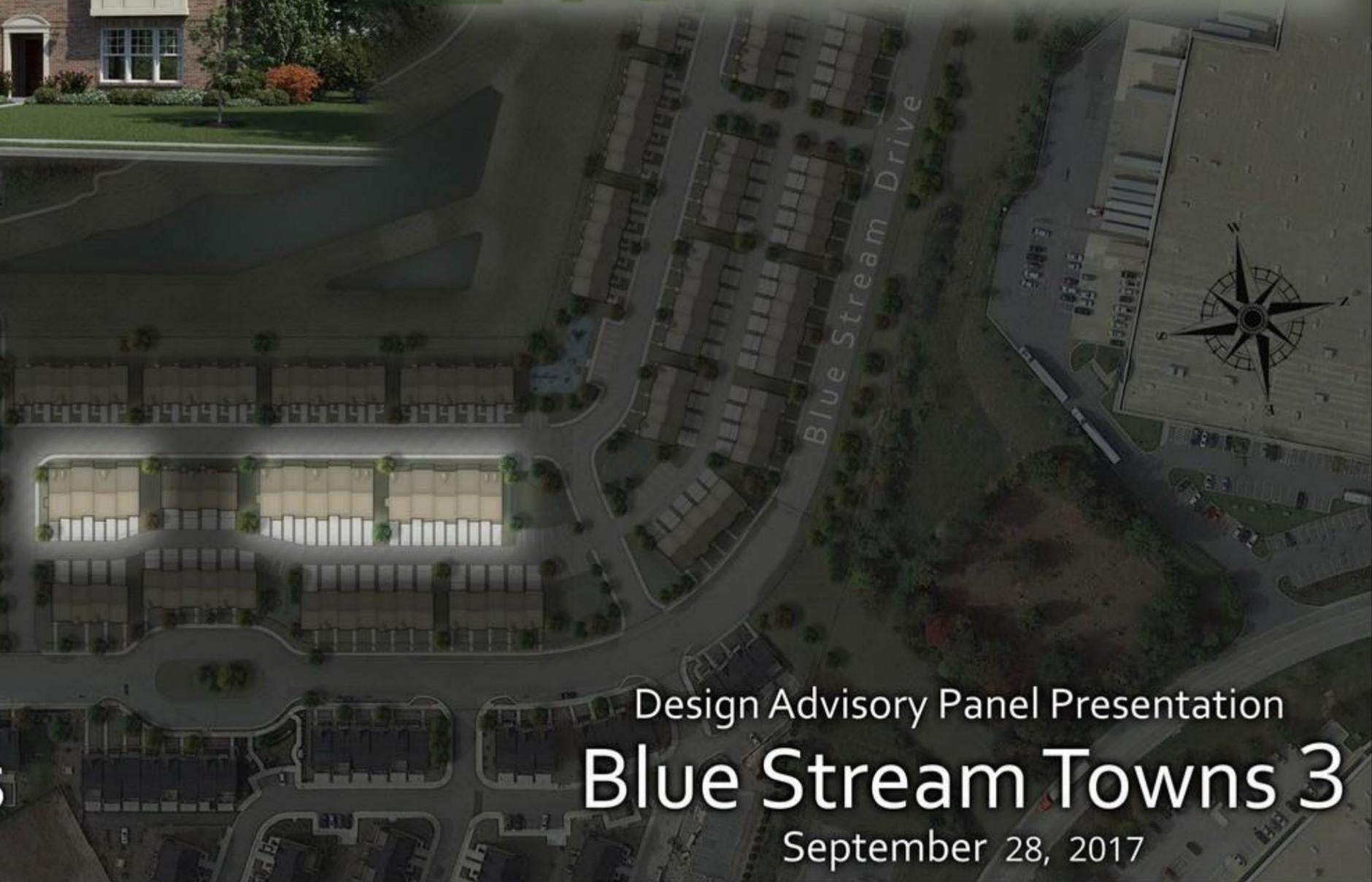
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I-95 North



Split townhouses allow for a wider, 24'-0" footprint by stacking two residences, each two story, within a single footprint. The total building height is 55'-5". Both residences share a front entry alcove, allowing the facade to match the proportions of the more-traditional townhouses.

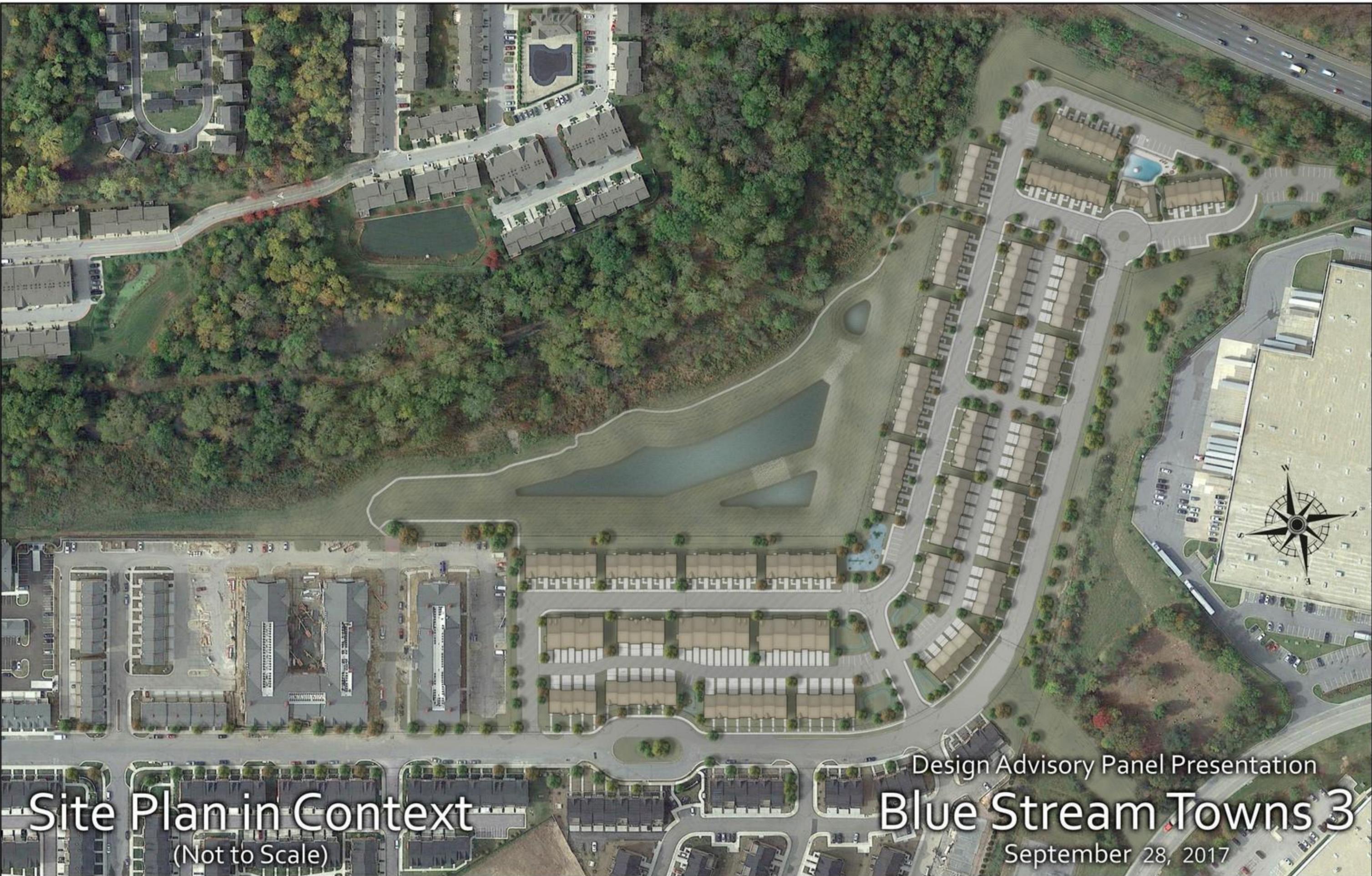
Separate drives and garages provide secure entry to both upper and lower dwellings. Covered porches, balconies and varied-height material changes break up the four story facade while similar materials and details to those used on the front-load townhouses help place these residences in the same architectural family as their smaller cousins.



Site Plan - Split Towns

(Not to Scale)

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Site Plan in Context

(Not to Scale)

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Matchline

Blue Stream Drive

Blue Stream Drive

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Site Plan - Southeast

Blue Stream Towns 3

Scale 1:60

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Approaching the site along Blue Stream Drive one finds front-load townhouses with all brick facades, elevated yards, landscape wall, street trees, and on-street parking, mirroring the existing neighborhood to the east. Access to the central alley and loop road aligns with the existing entry into the Towns 2 neighborhood and extends to the proposed tot lot and is flanked by a series of community open spaces. Blue Stream Drive continues around a gentle curve where the existing townhouses give way to a tree-lined hillside. Along the site's south end, additional landscaping will be added to the existing fence, providing shade for the visitor parking as well as a visual and sound buffer.



Blue Stream Drive

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Site Plan - Southeast

Blue Stream Towns 3

Scale 1:60

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Walking Trail

Tot Lot

Community
Open Spaces

Picnic Area

Matchline

Blue Stream Drive

Blue Stream Drive

Design Advisory Panel Presentation

Site Plan - SE - Amenities

Blue Stream Towns 3

Scale 1:60

September 28, 2017



Walking Trail



Neighborhood amenities include a paved walking trail looping around the ponds and connecting with the western edge of the neighborhood and a picnic area featuring outdoor dining tables, benches, and trash receptacles. A fenced tot lot with children's climbing equipment and slides as well as additional tables, benches, and trash receptacles overlooks the ponds and walking trail beyond. A series of community open spaces line the central access road. These are envisioned as "pocket parks" with hardscaped areas and outdoor furniture. (Development of these open spaces is ongoing.) Dog walking stations are located at each amenity and along the walking path.

Tot Lot



Community Open Spaces



Picnic Area



Site Plan - SE - Amenities

Scale 1:60

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Matchline

Blue Stream Drive

Blue Stream Drive

Design Advisory Panel Presentation

Site Plan - Southeast

Blue Stream Towns 3

Scale 1:60

September 28, 2017



Site Plan - Northwest

Scale 1:60

Matchline

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Blue Stream Drive continues west with townhouses to the south and the wooded hillside to the north, terminating just after crossing the site's narrowest point, beyond which the hillside pulls back allowing space for a round-about, community clubhouse and pool. Visitor and overflow parking for both the clubhouse and residences is provided along the loop road. The existing sound wall along the interstate 95 right-of-way is further enhanced by a proposed landscape/retaining wall running along the site's northwest edge.

Site Plan - Northwest

Scale 1:60

Matchline

Blue Stream Drive

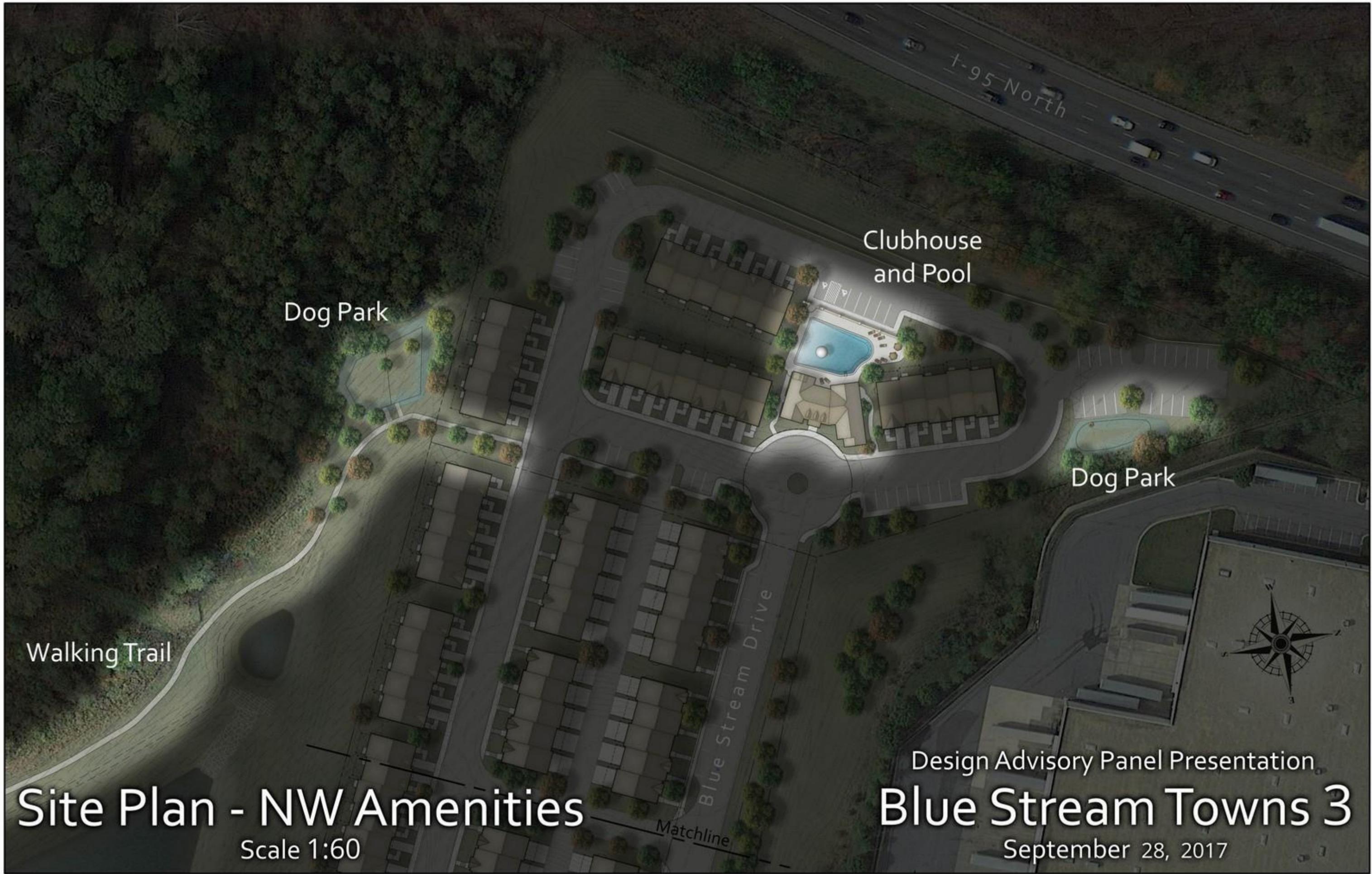
I-95 North

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Dog Park

Clubhouse
and Pool

Dog Park

Walking Trail

Blue Stream Drive

I-95 North

Matchline



Site Plan - NW Amenities

Scale 1:60

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The northwest half of the site sees the completion of the walking trail with a pedestrian-access dog park near its northern terminus. A second dog park with access to adjacent parking is tucked into the northern corner of the neighborhood at the base of the wooded hillside. Both dog parks provide benches, dog walk stations, and trash receptacles in fenced, shaded areas. The community clubhouse provides pool support functions such as restrooms, pump room, lifeguard station and furniture storage as well as a community room and yoga studio/ exercise room. The wading pool includes a no-threshold entry and splash fountain (mushroom) and is surrounded with a sun deck hosting deck chairs and umbrella-shaded picnic tables.



Clubhouse and Pool



Dog Park



Dog Park



Walking Trail



Site Plan - NW Amenities

Scale 1:60

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Blue Stream Drive
Matchline

I-95 North



Site Plan - Northwest

Scale 1:60

Matchline

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The proposed clubhouse blends elements of the all-brick townhouse facades with architectural references to the nearby neighborhoods. The ashlar stone water table and cast stone door lintel and window keystones make reference to the Brompton 1 clubhouse as well as the garden wall along Blue Stream Drive. The building picks up on the residential dormers and window mullions while oversize trim elements and a neoclassical entry portico help denote its public character. The functional dormers are used as a clerestory to illuminate a two-story entry area flanked by restrooms to the left and the community room to the right. The community room features a yoga/ workout room at the front of the building and a "glass wall" overlooking the pool deck. Restrooms and changing rooms can also be accessed directly from the pool deck. The rear of the building houses pool support functions including pump room, furniture storage and lifeguard room. The pool itself is separated from the accessible parking with an ashlar stone landscape wall and metal gated fence. The fence continues around the pool deck. The pool utilizes a zero-threshold entry and seating alcove as well as the splash feature (mushroom).

Clubhouse and Pool

Scale 1:20 (plan) 1:10 (elevation)



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