

GENERAL NOTES

- 1. Lot 47 is zoned Neutown (NT) and is designated as Downtown Mixed Use Area per the Downtown Columbia Plan.
2. All construction shall be in accordance with the latest standards and specification of Howard County public MSHA standards and specification. If applicable.
3. The contractor shall notify the Bureau of Engineering/Construction Inspection Division at (410) 313-1800 at least five (5) working days prior to the start of work.
4. The contractor shall notify 'Miss Utility' at 1-800-257-7171 at least 48 hours prior to any excavation work being done.
5. Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
6. All plan dimensions are to the face of curb unless otherwise noted.
7. The existing topography is taken from a field run survey with 1' intervals prepared by Century Engineering on 4/12. Coordinates and bearings shown hereon are referred to the Maryland Coordinate System (NAD27) as projected from the following 'Whitman, Reardon & Assoc.' traverse stations.
8. Public Water and Sewer is utilized for this site.
9. Stormwater management quantity is provided on-site by micro bioretention facilities and cisterns. Stormwater management facilities are privately maintained by the owner.
10. No wetlands, floodplains, streams, forests, erodible soils, steep slopes of 25% or greater, or environmental buffers exist within the limits of disturbance or lot 47.
11. The existing utilities were located from available records and field survey prepared by AI Date 3/12, the contractor must dig test pits, by hand, at utility crossings and connection points at least 5 days prior to starting work to verify exact location.
12. A traffic study was prepared by Wells & Associates dated May, 2012.
13. Handicap parking details shall be in accordance with the Maryland Building Code for the Handicapped, Section 5.01-7.05. Any damage to county owned right-of-way to be corrected at the contractor's expense.
14. All sidewalks shall be cross sloped at 1/4 inch per foot.
15. Trench bedding for storm drainage structures shall be in accordance with Howard County Standard 6.2.01.
16. Department of Planning and Zoning reference file numbers: SDP 80-0-1, F-17-14, F-97-153, F-97-155, F-97-159, S-96-09, SDP-97-107, SDP-97-158, SDP-98-44, WP-98-81, SDP-98-124, SDP-98-116, SDP-00-57, NP-03-034, F04-45, FDP-47-A-VII, SDP-05-027, SDP-10-47, FDP-DC-THE MALL-1, PB-395, ECP-13-011, 2012-19-016
17. All inlets shall be constructed in accordance with Howard County standards or MSHA Standards as specified on the structure schedule.
18. All materials and construction is to be in accordance with the Howard County Design Manual IV.
19. The building setback restrictions from the property lines and right-of-way lines of any public road shall be in accordance with FDP-DC-THE MALL-1.
20. All on-site driveways and parking areas to be privately maintained.
21. All curb radii are five foot unless otherwise labeled.
22. All equipment and tools shall be placed as not to interfere with vehicular or pedestrian movement unless specified.
23. The contractor shall be responsible for any damage to existing property which may occur as a result of his negligence in the execution of the work.
24. All proposed handicap ramps shall be in accordance with the current A.D.A. Standards.
25. Light trespass onto a property in the NT zoning District and used for residential purposes shall be limited to 0.1 feet candles.
26. This plan is exempt from Forest Conservation in accordance with Section 16-1202 (b)(iv) of the Howard County Code for a Planned Unit Development which has preliminary development plan approval and is 50% or more developed.
27. This plan has been prepared based on the approved Mall Neighborhood Design Guidelines, Implementation Plan and Final Development Plan, FDP-DC-The Mall-1 and PB-395.
28. Future storefront design will comply with the mall neighborhood criteria for storefront and signage.
29. See sheet 5 for CEPPA Note Summaries.
30. Existing utilities are private. No approval required from BGE.
31. A Design Advisory Panel Meeting for this SDP was held on August 8, 2012 at 11/17 for Sears, and October 16, 2014 at 11/17 for Sears.
32. A Design Advisory Panel Meeting for this SDP was held on August 8, 2012 at 11/17 for Sears, and October 16, 2014 at 11/17 for Sears.
33. A Design Advisory Panel Meeting for this SDP was held on August 8, 2012 at 11/17 for Sears, and October 16, 2014 at 11/17 for Sears.
34. A Design Advisory Panel Meeting for this SDP was held on August 8, 2012 at 11/17 for Sears, and October 16, 2014 at 11/17 for Sears.
35. Newly proposed buildings will have an automatic sprinkler system.
36. An additional level of the existing parking garage shown within the limits of this SDP may be constructed at a later date at the discretion of the Owner.
37. The applicant shall provide an annual payment to the DCGHF in the amount of 5 cents per square foot of Gross Leasable Area for office and retail uses.
38. Water contract #167, Sewer contract #164.
39. The limit of disturbance for Revision #1 is 435 sq. ft. and 0.43 ac (18,73 sq. ft.) for Revision #4, and 0.70 ac (30,560 sq. ft.) for Revision #5.
40. The limit of disturbance for the Plaza Retrofit includes further study of the relationship between the multiple entrances to the plaza area with regards to circulation, safety, and consistency among design elements.

SITE ANALYSIS

- 1. Zoning: Neutown (NT) and is designated as Downtown Mixed Use Area per the Downtown Columbia Plan
2. Plat Reference: 16237-16239, F-04-045 Dated 10-7-03
3. Limit of Disturbance: 5.67 acres (ex. retail) + 0.39 ac. (Sears) = 6.06 ac + 0.43 ac (Plaza) = 6.49 acres + 0.70 ac (Sears) = 7.19 acres
4. Existing Use: 25,500 sq. ft. retail, parking (ex. retail) + 147,920 sq. ft. retail (vacant)
5. Proposed Use: Retail, restaurant, parking, entertainment, B&B, open air plaza and concrete amphitheater with elevated plaza area, supermarket w/ outdoor amenities.
6. Area Tabulation
A. Total Mall Area: 62,339 sq. ft. (2,715,468 sq. ft.)
B. Area of Plan Submission: 30,024 sq. ft. (1,257,022 sq. ft.)
C. Building Area Proposed: 15,000 sq. ft. (23,000 sq. ft. rest. and 52,000 sq. ft. of retail (9,720 net new building area) (FDP net new limit: 45,000 sq. ft. maximum)
D. Limit of Disturbance: 5.67 ac. (ex. retail) + 0.48 ac. (Sears) = 6.15 ac. + 0.43 ac (Plaza) = 6.58 acres + 0.70 ac (Sears) = 7.19 acres
E. Impervious Area: 5 Ac (2,118,000 sq. ft.)
F. Secondary Amenity Space: 0.67 Ac (29,185 sq. ft.) (See sheet 29 for details)
G. Existing Building Coverage Area: 10% (25,500 246,925)
H. Proposed Building Coverage Area: 15.1% (37,200 246,925)
I. Maximum Building Height: 7 stories

Table 1: Shared Parking Analysis Summary. Columns: Use, Existing Conditions, Reductions, Additions, Proposed Conditions. Rows: Office, Retail, Restaurant, Theater (5F), Total Mall, Theater (Seats).

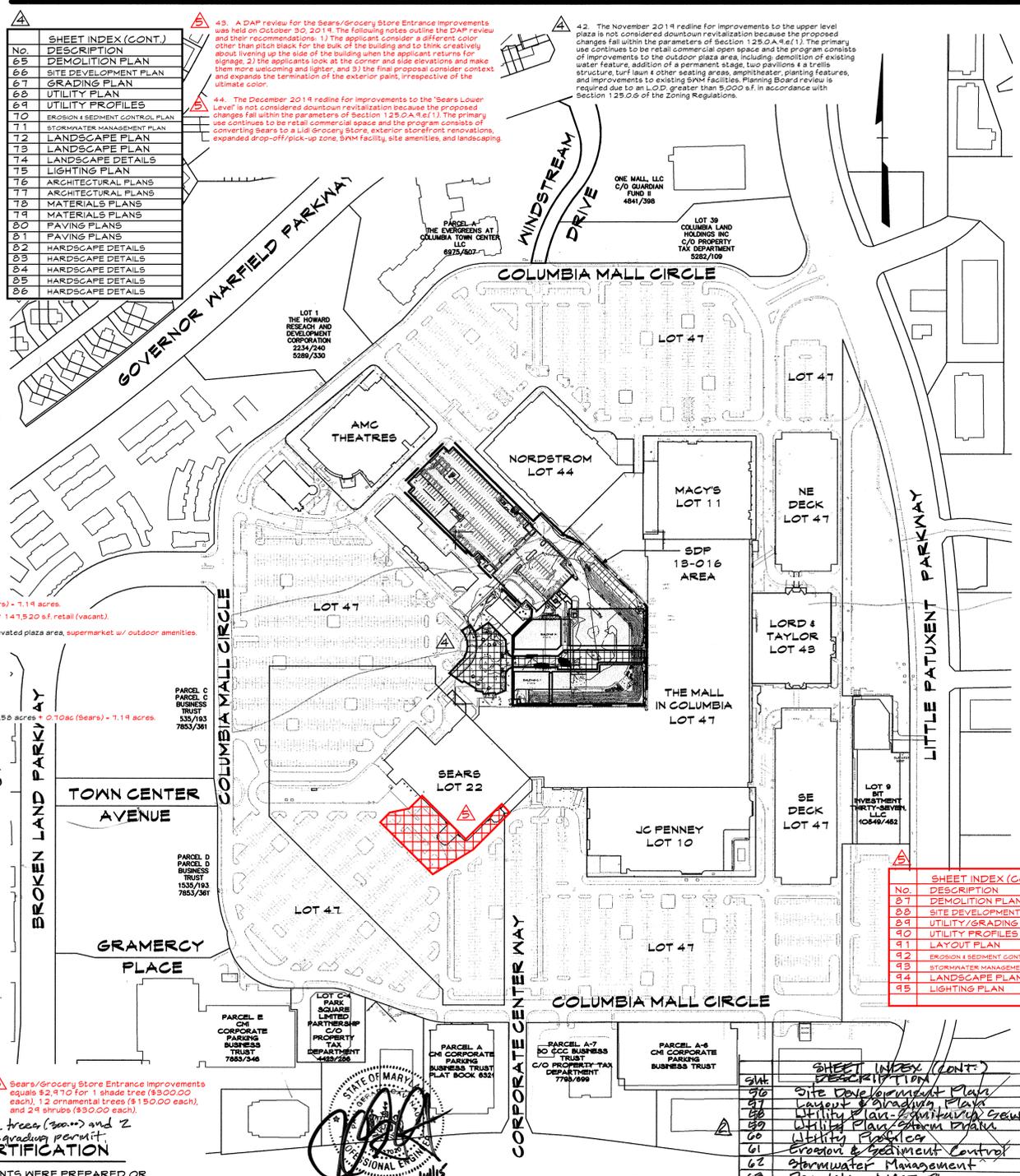
Table 1: Shared Parking Analysis Summary. Columns: Weekday, Weekend. Rows: Parking Required (1), Max. Parking Required, Parking Provided (2), Parking Dimension (3), Parking Additions, Total Parking Provided, Difference (req. vs. prov.), Percent Difference.

APPROVED PLANNING BOARD OF HOWARD COUNTY DATE 12-13-12. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

Century Engineering logo and contact information: 10710 Gilroy Road, Hunt Valley, MD 21031. Phone: 443.589.2400 Fax: 443.589.2401

Site Development Plan

THE MALL IN COLUMBIA



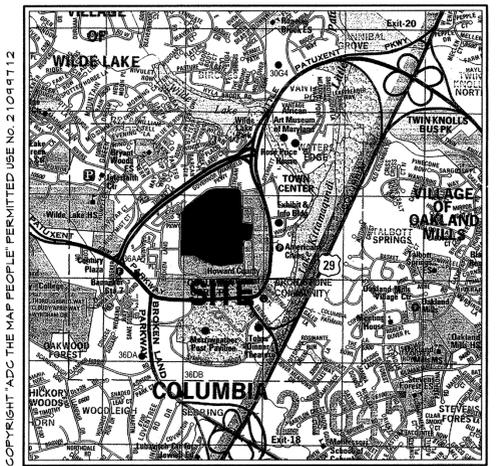
Professional Engineer certification for Paul G. Cavanaugh, No. 27020. Includes a 'SHEET INDEX (CONT.)' table listing drawing numbers and descriptions.

EXISTING BUILDING COVERAGE table with columns: Building Name, Description, Area. Rows: Building A, B, C, Interior Mall Renovations, Total Proposed Coverage.

This site complies with the Howard County Green Buildings law set forth under Title 5, Subtitle 10 of the Howard County Code and Section 3.1005(A) of the Code. Registration with the Green Building Council and the applicable LEED registration fee was paid on 8-2-12. The LEED New Construction checklist was prepared, signed and dated by the project LEED accredited professional and was received by DCF on October 26, 2012. The proposed building is tentatively certified by LEED with a certified rating.

SECONDARY AMENITY SPACE CHART table with columns: Item, Description, Area. Rows: Required Secondary Amenity Space, Provided Secondary Amenity Space, Excess Secondary Amenity Space.

DEVELOPMENT SQUARE FOOTAGE table with columns: Development Area, Proposed Under FDP-DC-THE MALL-1, Gross Sq. Ft., Net Sq. Ft. Rows: Restaurant, Retail, Pathway, Enhancement Plan.



VICINITY MAP Scale: 1"=2000'. DGC Map 33 Grid: A 1. BENCHMARKS

1. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE HOWARD COUNTY COORDINATE SYSTEM (NAD 83/91). Includes coordinate data for various points on the site.

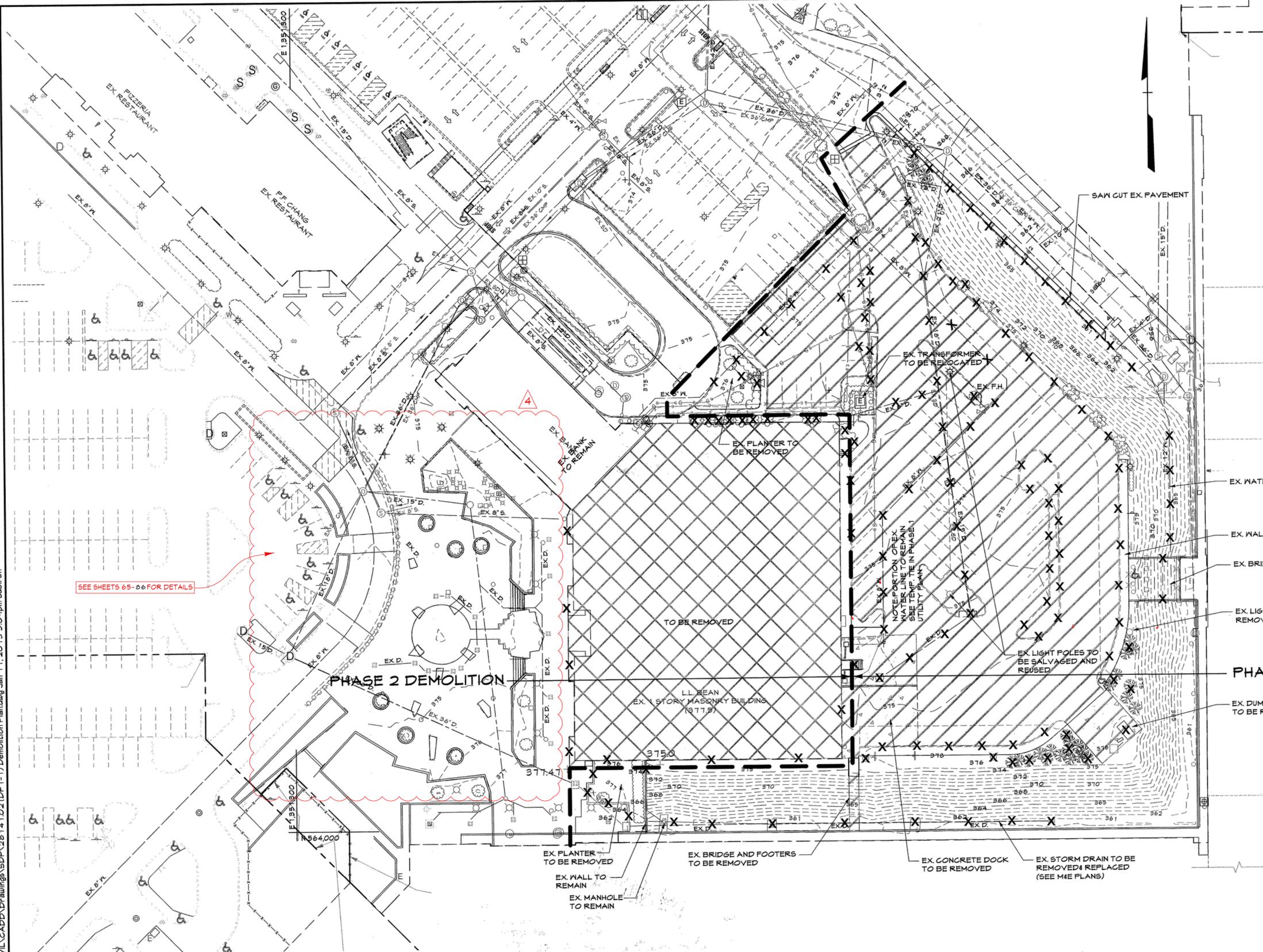
SHEET INDEX table with columns: Drawing No., Description, Drawing No., Description. Lists 55 drawings from COVER SHEET to STRUCTURAL WALL DETAILS.

AS-BUILT CERTIFICATION FOR PSWM. Includes information about the permit, subdivision name (COLUMBIA TOWN CENTER), and lot details.

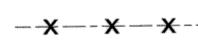
DATA SOURCES: Boundary information shown hereon is from Plat 14169, prepared by DMN, Inc., dated November 2003. Topography shown hereon is from a field-run survey by Century Engineering, Inc., dated February 2012.

COVER SHEET - AS-BUILT THE MALL IN COLUMBIA. Includes developer information (GENERAL GROWTH PROPERTIES), tax map details, and project number (2814.102).

Vertical text on the left margin: S:\2008\Facilities\2814.102\Columbia Mall\CADD Drawings\SDP\2814.102(SDP-01) SDP Cover Sheet.dwg Jan 14, 2013 4:49:10pm



**LEGEND**

-  PAVING/CURB & GUTTER TO BE REMOVED (PHASE 1)
-  BUILDING TO BE REMOVED (PHASE 2)
-  UTILITY LINE TO BE REMOVED
-  EX. CURB/BUILDING TO BE REMOVED
-  EX. SHRUBS TO BE REMOVED

MALL  
EX. 2 STORY MASONRY BUILDING

- EX. WATER TO BE RELOCATED
- EX. WALKS TO BE REMOVED
- EX. BRIDGE TO BE REMOVED
- EX. LIGHT POLE TO BE REMOVED, (TYPICAL)
- EX. LIGHT POLES TO BE SALVAGED AND REUSED
- EX. DUMPSTER AND PAD TO BE REMOVED

**PHASE 2 DEMOLITION**

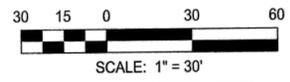
**PHASE 1 DEMOLITION**

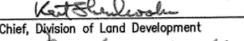
**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10791      EXPIRATION DATE: 8-25-10

**AS-BUILT CERTIFICATION FOR PSWM**  
Note: There is no "AS-Built" information provided on this sheet.



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
  
 Chief, Development Engineering Division  
  
 Chief, Division of Land Development  
  
 Director

**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401

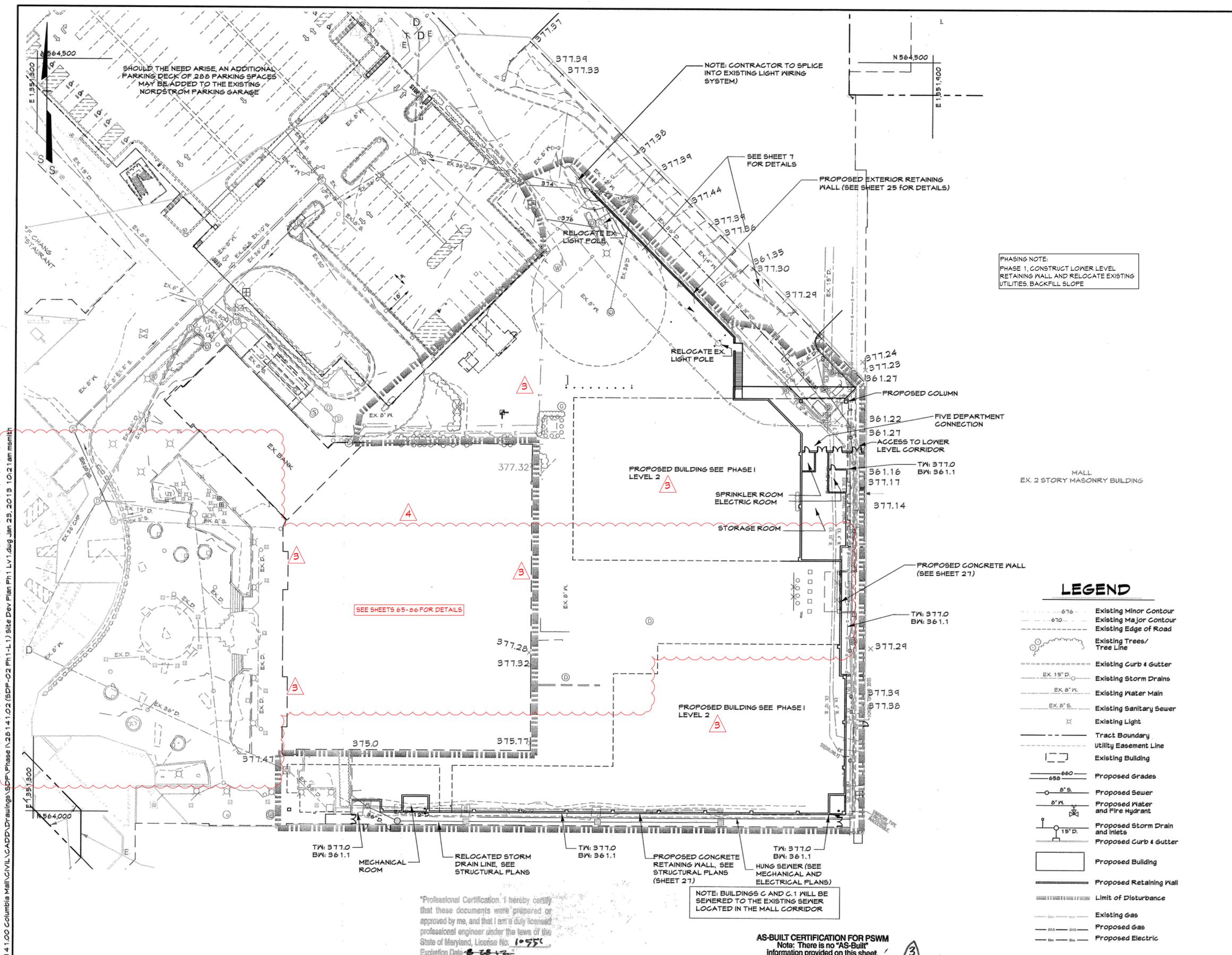


DESIGN BY: M.J.P.	CEI <b>A</b>	AS-BUILT	9/15/13
DRAWN BY: M.S.S.	CEI <b>A</b>	Demolition of water feature, removal of tree pits and landscape boulders	
CHECKED BY:			
DATE: 1/14/13	BY NO.	REVISION	DATE

DEVELOPER  
**GENERAL GROWTH PROPERTIES**  
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000  
 COLUMBIA, MARYLAND 21044  
 410-992-6000

AS-BUILT **DEMOLITION PLAN**  
**THE MALL IN COLUMBIA**  
 BUILDING EXPANSION  
 COLUMBIA TOWN CENTER  
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
 SHEET 4 OF 95

C.E.I. PROJECT NUMBER  
 28141.02  
 SCALE:  
 1"=30'



**Attachment A**  
Brief Summary of Downtown CEPPA Status for Requirements Relevant to The Mall in Columbia  
For SDP-13-016

CEPPA Status Summary		
<b>PRIOR TO SUBMISSION OF THE FIRST FINAL DEVELOPMENT PLAN</b>		
1	HHC completed at its expense an environmental assessment of the three sub-watersheds of Symphony Stream, Wide Lake and Lake Kitamaquidi located upstream of the Merrweather & Crescent Environmental Enhancements Study Area.	Complete
2	HHC will commission at HHC's expense (i) the preparation of the Land Framework component of the Downtown Columbia Sustainability Program and (ii) a detailed outline for the Community Framework component of the Sustainability Program.	Complete
3	HHC will commission at HHC's expense in consultation with Howard County a study evaluating a new Downtown Columbia Route 29 interchange between Route 175 and Broken Land Parkway and options for a connection over Route 29 connecting Downtown Columbia to Oakland Mills, including potential bicycle, transit and multimodal improvements.	Complete
4	HHC will prepare at its expense Downtown-wide Design Guidelines.	Complete
<b>PRIOR TO APPROVAL OF THE FIRST FINAL DEVELOPMENT PLAN</b>		
5	HHC will commission at HHC's expense and in consultation with Howard County one or more feasibility studies for the following: (i) a new Broken Land Parkway/Route 29 north/south collector road connection to Little Patuxent Parkway and (ii) a new Downtown transit center and Downtown Circulator Shuttle.	Complete
6	HHC and Howard County will jointly determine the functions, organizational structure, implementation phasing schedule consistent with the redevelopment phasing schedule, potential funding sources and projected funding needs of the Downtown Columbia Partnership, prior to HHC's establishment of this Partnership. As such, at least fifty percent (50%) of the revenue collected pursuant to CEPPA No. 25 shall be utilized for the implementation of transportation initiatives in the shuttle feasibility study or other direct transit services downtown.	Complete
<b>PRIOR TO APPROVAL OF THE FIRST SITE DEVELOPMENT PLAN</b>		
7	HHC will submit a phasing schedule for implementation of the restoration work on HHC's property and a Site Development Plan for the first phase of the environmental restoration work as described in CEPPA No. 15.	Complete
8	HHC, in collaboration with the County, will establish the Downtown Arts and Culture Commission, an independent nonprofit organization, to promote and support Merrweather Post Pavilion's revitalization in accordance with this Plan and the development of Downtown Columbia as an artistic and cultural center.	Complete
<b>PRIOR TO ISSUANCE OF THE FIRST BUILDING PERMIT</b>		
9	To facilitate the renovation of the Banneker Fire Station, HHC and the County shall cooperate to identify a site for the development of a temporary fire station while the Banneker Fire station is being renovated.	Complete
<b>UPON ISSUANCE OF THE FIRST BUILDING PERMIT</b>		
10	HHC shall contribute \$1.5 million in initial funding for the Downtown Columbia Community Housing Fund. Payment will be contingent upon the expiration of all applicable appeal periods associated with each building permit without an appeal being filed, or if an appeal is filed upon the issuance of a final decision of the courts upholding the issuance of the permit.	Complete
<b>UPON ISSUANCE OF THE BUILDING PERMIT FOR THE 400<sup>th</sup> RESIDENTIAL UNIT</b>		
11	HHC shall contribute \$1.5 million in additional funding for the Downtown Columbia Community Housing Fund. Payment will be contingent upon the expiration of all applicable appeal periods associated with each building permit without an appeal being filed, or if an appeal is filed upon the issuance of a final decision of the courts upholding the issuance of the permit.	Complete
<b>PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE 500,000<sup>th</sup> SF OF DEVELOPMENT</b>		
12	HHC will complete at its expense the pedestrian and bicycle pathway from the Howard County General Hospital to Blandair Park. In addition, HHC along with the County and community will develop a scope of work for renovation of the existing Route 29 pedestrian bridge. HHC will contribute up to \$500,000 towards the implementation of the selected improvements.	Alternative Compliance approved on 8/20/15; pathway construction COMPLETE
13	HHC will enter into and record in the land records of Howard County, Maryland, a declaration of restrictive covenants that shall prohibit the demolition or major exterior alteration of the former Rouse Company Headquarters building.	COMPLETE
<b>PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE 1,300,000<sup>th</sup> SF OF DEVELOPMENT</b>		
14	HHC in cooperation with Howard Transit shall identify a location in Downtown Columbia for a new Howard County Transit Center and shall provide a location either by fee transfer at no cost or a long-term lease for a nominal sum subject to all applicable laws and regulations.	PENDING - Potential site identified; Alternative timing compliance to 3.2 MSF approved by Planning Board on Nov. 16, 2017 to complete transaction
15	HHC will complete environmental restoration projects in the Merrweather-Symphony Woods and Crescent areas.	PENDING - Revised timing approved on December 1, 2016 to complete Areas 3.1 and SS-SS (offsite) prior to first U&O for Crescent Area 3 and provide County quarterly monitoring reports. Complete
16	HHC will complete Phase I of the Merrweather Post Pavilion redevelopment program.	Complete
<b>PRIOR TO APPROVAL OF THE SITE DEVELOPMENT PLAN FOR THE 1,375<sup>th</sup> NEW RESIDENTIAL UNIT</b>		
17	HHC shall, if deemed necessary by the Board of Education, reserve an adequate school site or provide an equivalent location within Downtown Columbia.	COMPLETE - BOE received 2 school sites through negotiation
<b>PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE 2,600,000<sup>th</sup> SF OF DEVELOPMENT</b>		
18	HHC will construct at its expense, the Wide Lake to Downtown Columbia pedestrian and bicycle pathway.	PENDING - plans in signature
19	HHC will construct at its expense the Lakefront Terrace (steps to the Lake) amenity space and pedestrian promenade.	PENDING - alternative timing to 3.9 MSF is proposed with this FDP.
20	HHC will complete Phase II of Merrweather Post Pavilion redevelopment program.	PENDING - alternative compliance approved November 4, 2016 so that no project will be held up due to Merrweather Post Pavilion redevelopment
<b>PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE 3,900,000<sup>th</sup> SF OF DEVELOPMENT</b>		
21	HHC will complete Phase III of Merrweather Post Pavilion redevelopment program.	PENDING - alternative compliance approved November 4, 2016 so that no project will be held up due to Merrweather Post Pavilion redevelopment
22	At least one Downtown Neighborhood Square shall be completed and deeded to Howard County for public land.	PENDING - alternative timing to expedite timing to 2.6 MSF. Construction ready to commence
<b>PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE 5,000,000<sup>th</sup> SF OF DEVELOPMENT</b>		
23	HHC will provide \$1,000,000 towards the initial funding of a Downtown Circulator Shuttle.	PENDING
24	Transfer of Merrweather Post Pavilion to the Downtown Arts and Culture Commission for zero-dollar consideration.	COMPLETE
<b>PRIOR TO THE APPROVAL OF EACH FINAL DEVELOPMENT PLAN</b>		
25	Each owner of property developed with commercial uses shall pay an annual fee of twenty-five cents (\$0.25) per square foot of Gross Leasable Area for office and retail uses and twenty-five cents (\$0.25) per square foot of net floor area for hotels to the Downtown Columbia Partnership.	On-going
<b>UPON ISSUANCE OF ANY BUILDING PERMIT FOR A BUILDING CONTAINING DWELLING UNITS</b>		
26	To fulfill an affordable housing obligation, each developer will pay a per unit fee to the DCHP in the following amounts: \$2,000/unit for each unit up to and including the 1,500th unit; \$7,000/unit for each unit between the 1,501st unit up to and including the 3,500th unit; \$9,000/unit for each unit between the 3,501st unit up to and including the 5,500th unit.	REMOVED; CEPPA replaced with DCPRA and MOU
<b>ADDITIONAL CEPPA CONTRIBUTION</b>		
27	Each owner of property developed with commercial uses pursuant to the Downtown Revitalization Zoning Regulations shall provide an annual payment to the DCHP in the amount of five cents (\$0.05) per square foot of Gross Leasable Area for office and retail uses, and five cents (\$0.05) per square foot of net floor area for hotels. The payment will be made annually by the property owner, with the initial payment being made prior to the issuance of an occupancy permit for net new commercial development on the property. The amount of the charge will be subject to annual adjustment based on a builder's index, land value, or other index provided in the implementing legislation.	On-going

PHASING NOTE:  
PHASE 1, CONSTRUCT LOWER LEVEL  
RETAINING WALL AND RELOCATE EXISTING  
UTILITIES, BACKFILL SLOPE

**LEGEND**

- 676 --- Existing Minor Contour
- 670 --- Existing Major Contour
- --- Existing Edge of Road
- --- Existing Trees/ Tree Line
- --- Existing Curb & Gutter
- EX. 18" D. --- Existing Storm Drains
- EX. 8" W. --- Existing Water Main
- EX. 8" S. --- Existing Sanitary Sewer
- --- Existing Light
- --- Tract Boundary
- --- Utility Easement Line
- --- Existing Building
- 660 --- Proposed Grades
- 8" S. --- Proposed Sewer
- 8" W. --- Proposed Water and Fire Hydrant
- 15" D. --- Proposed Storm Drain and Inlets
- --- Proposed Curb & Gutter
- --- Proposed Building
- --- Proposed Retaining Wall
- --- Limit of Disturbance
- --- Existing Gas
- --- Proposed Gas
- --- Proposed Electric

SEE SHEETS 65-86 FOR DETAILS

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 10757, Expiration Date: 8-28-12

NOTE: BUILDINGS C AND C.1 WILL BE SEWERED TO THE EXISTING SEWER LOCATED IN THE MALL CORRIDOR

AS-BUILT CERTIFICATION FOR PSWM  
Note: There is no "AS-Built" information provided on this sheet.

5:2008\Facilities\2814.00 Columbia Mall\CADD\Drawings\SDP\Phase 1\1-1\1.02 (SDP-02 PH1-1) Site Dev Plan Ph 1 Lvl 1.dwg, Jan 29, 2013 10:21 am merrh

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Chief, Development Engineering Division  
Chief, Division of Land Development  
Director

Date: 1/31/13  
Date: 4-09-13  
Date: 4/1/13

**M CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401



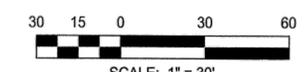
DESIGN BY: M.J.P.  
DRAWN BY: M.S.S.  
CHECKED BY:  
DATE: 1/14/13

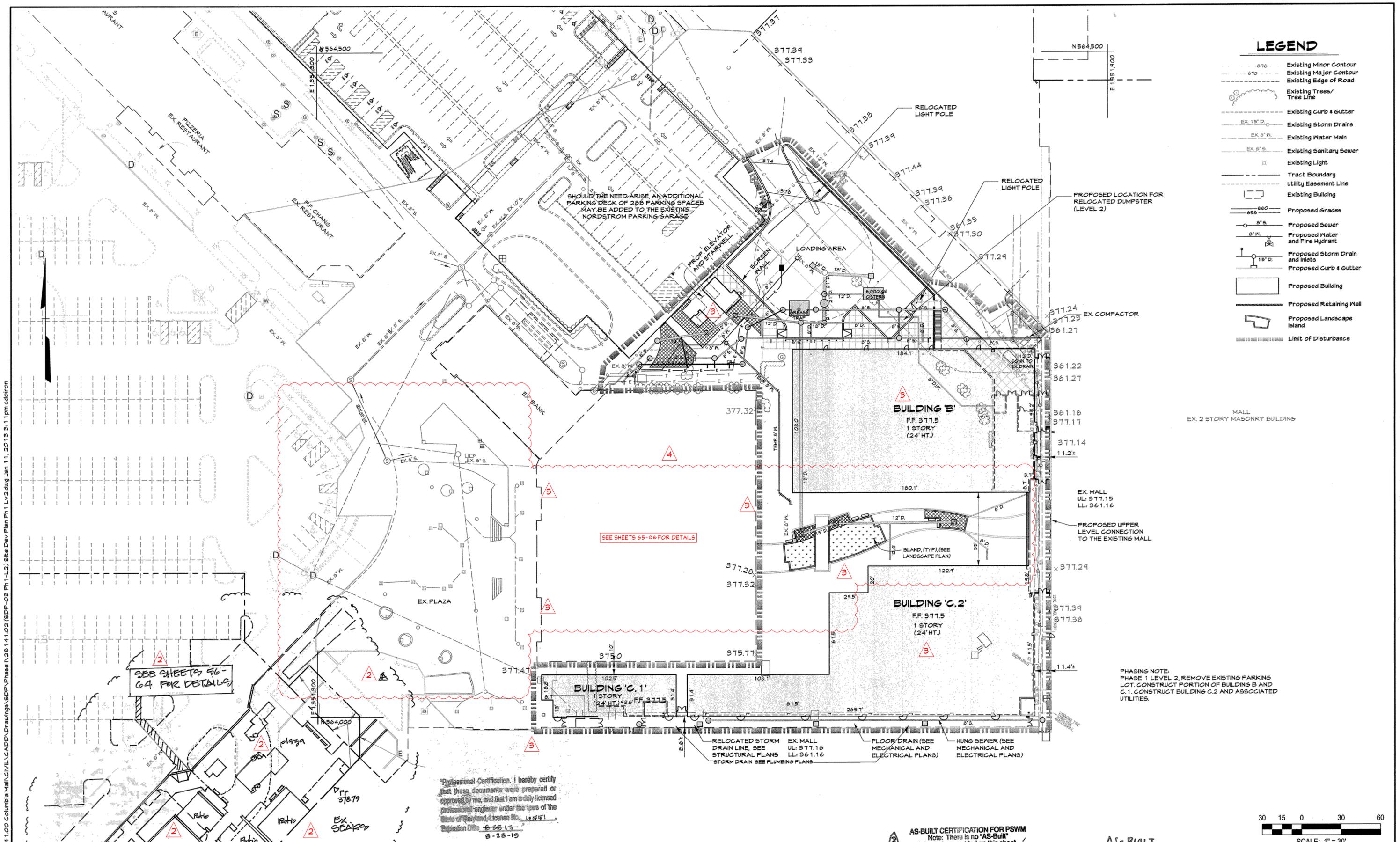
BY	NO.	REVISION	DATE
CEI	A	Demolition of water feature, revisions to plaza layout, proposed site amenities	9/5/18
AS BUILT			

DEVELOPER  
**GENERAL GROWTH PROPERTIES**  
10440 LITTLE PATUXENT PARKWAY, SUITE 1000  
COLUMBIA, MARYLAND 21044  
410-992-6000

AS-BUILT  
SITE DEVELOPMENT PLAN - PHASE 1 - LEVEL 1  
**THE MALL IN COLUMBIA**  
BUILDING EXPANSION  
COLUMBIA TOWN CENTER  
TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
SHEET 5 OF 95

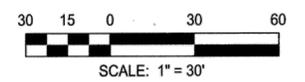
C.E.I. PROJECT NUMBER  
28141.02  
SCALE: 1"=30'





LEGEND	
	Existing Minor Contour
	Existing Major Contour
	Existing Edge of Road
	Existing Trees/Tree Line
	Existing Curb & Gutter
	Existing Storm Drains
	Existing Water Main
	Existing Sanitary Sewer
	Existing Light
	Tract Boundary
	Utility Easement Line
	Existing Building
	Proposed Grades
	Proposed Sewer
	Proposed Water and Fire Hydrant
	Proposed Storm Drain and Inlets
	Proposed Curb & Gutter
	Proposed Building
	Proposed Retaining Wall
	Proposed Landscape Island
	Limit of Disturbance

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 105941, Expiration Date 6-25-19



**AS-BUILT CERTIFICATION FOR PSWM**  
 Note: There is no "AS-Built" information provided on this sheet.

**AS-BUILT**

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Chief, Development Engineering Division  
 Chief, Division of Land Development  
 Director

**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY: M.J.P.  
 DRAWN BY: M.S.S.  
 CHECKED BY:  
 DATE: 1/14/13

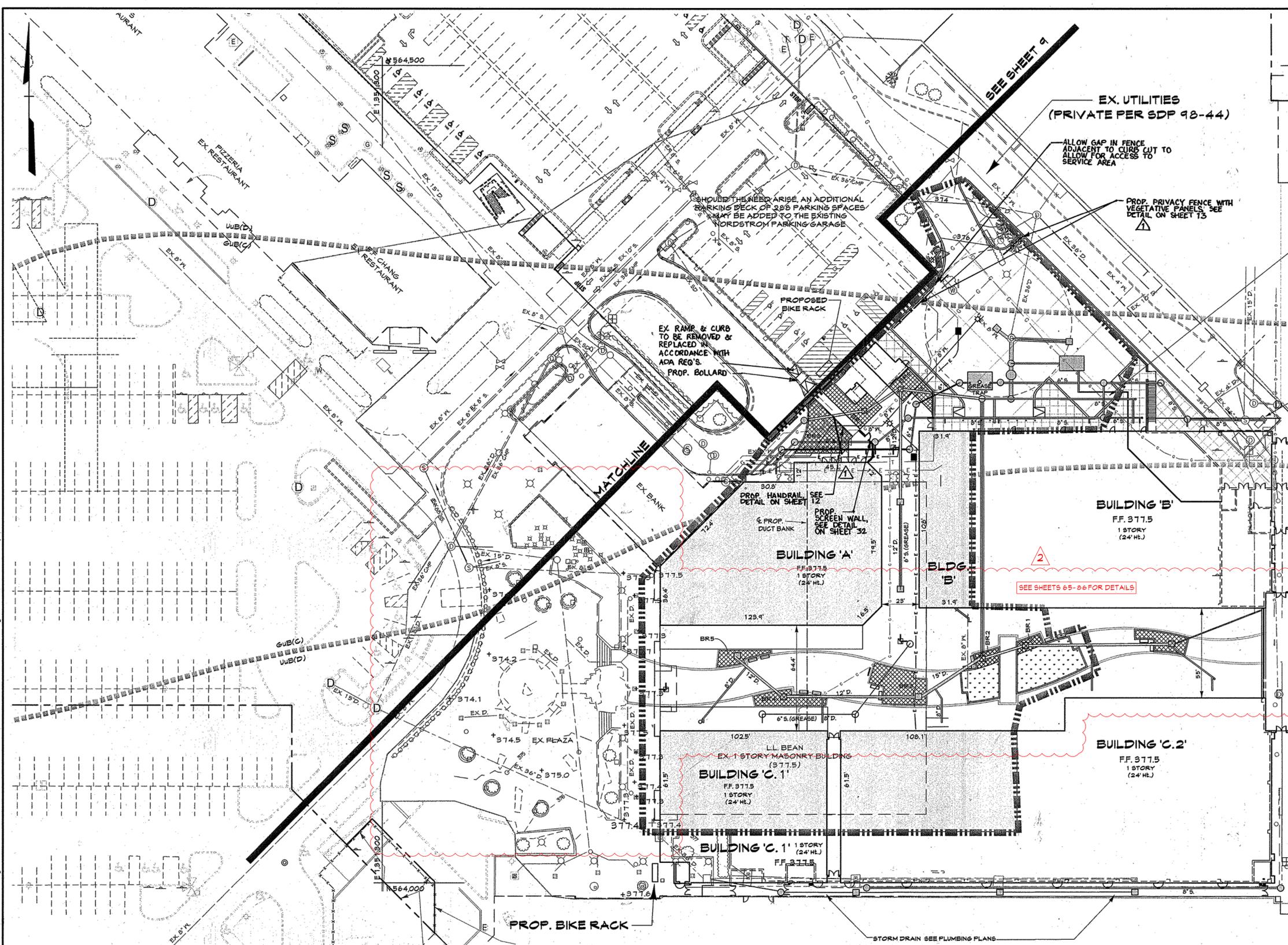
NO.	REVISION	DATE
CEI A	Demolition of water feature, revisions to plaza layout, proposed site amenities	9-9-10
CET B	AS-BUILT	8-4-17
CET A	ShawSears revisions, Add plaza, delete Auto Ctr.	8-4-17
	add 5 SWIM facility	

DEVELOPER  
**GENERAL GROWTH PROPERTIES**  
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000  
 COLUMBIA, MARYLAND 21044  
 410-992-6000

**SITE DEVELOPMENT PLAN - PHASE 1 - LEVEL 2**  
**THE MALL IN COLUMBIA**  
 BUILDING EXPANSION  
 COLUMBIA TOWN CENTER  
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
 SHEET 6 OF 45

C.E.I. PROJECT NUMBER  
 28141.02  
 SCALE:  
 1" = 30'

S:\2008\Facilities\28141.00 Columbia Mall\CIVIL\CADD\Drawings\SDP-Phase 1\28141.02 (SDP-03 Ph1-L2) Site Dev Plan Ph1 Lv2.dwg Jan 11, 2013 9:11 pm cdc/iron



**LEGEND**

- 676 Existing Minor Contour
- 670 Existing Major Contour
- Existing Edge of Road
- Existing Trees/Tree Line
- Existing Curb & Gutter
- EX 15" D. Existing Storm Drains
- EX 8" W. Existing Water Main
- EX 8" S. Existing Sanitary Sewer
- Existing Light
- Tract Boundary
- Utility Easement Line
- Existing Building
- Proposed Grades
- 8" S. Proposed Sewer
- 8" W. Proposed Water and Fire Hydrant
- Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- Proposed Building
- Proposed Retaining Wall
- Limit of Disturbance
- BR5 Bio Retention Designation
- Proposed Entrance (subject to leasing)

PROPOSED BUILDING COVERAGE	
BUILDING 'A' (ONE STORY)	+/- 12,000 SF
BUILDING 'B' (ONE STORY)	+/- 12,000 SF
BUILDING 'C.1' (ONE STORY)	+/- 12,000 SF
BUILDING 'C.2' (ONE STORY)	+/- 12,000 SF
INTERIOR MALL RENOVATIONS	+/- 2,000 SF
<b>TOTAL PROPOSED COVERAGE</b>	<b>75,000 SF</b>

**PHASING NOTE:**  
 PHASE 2, REMOVE EXISTING RETAIL, CONSTRUCT REMAINDER OF BUILDINGS B AND C.1. CONSTRUCT BUILDING A AND ASSOCIATED UTILITIES.

**SECONDARY AMENITY NOTE:**  
 THE 0.67 AC. SECONDARY AMENITY WILL BE COMPLETED UNDER PHASE 2

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10591      EXPIRATION DATE: 5/28/13



PAUL G. CAVANAUGH  
 PROFESSIONAL ENGINEER NO. 27020



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Chief, Development Engineering Division  
 Chief, Division of Land Development  
 Director

**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401



BY	NO.	REVISION	DATE
CEI	1	REDLINE REVISION TO ADD SCREEN WALL, SCREEN FENCE, AND RECONSTRUCT RAMP	01/15/15
	2	Demolition of water feature, revisions to plaza layout, proposed site amenities	

DEVELOPER  
**GENERAL GROWTH PROPERTIES**  
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000  
 COLUMBIA, MARYLAND 21044  
 410-992-6000

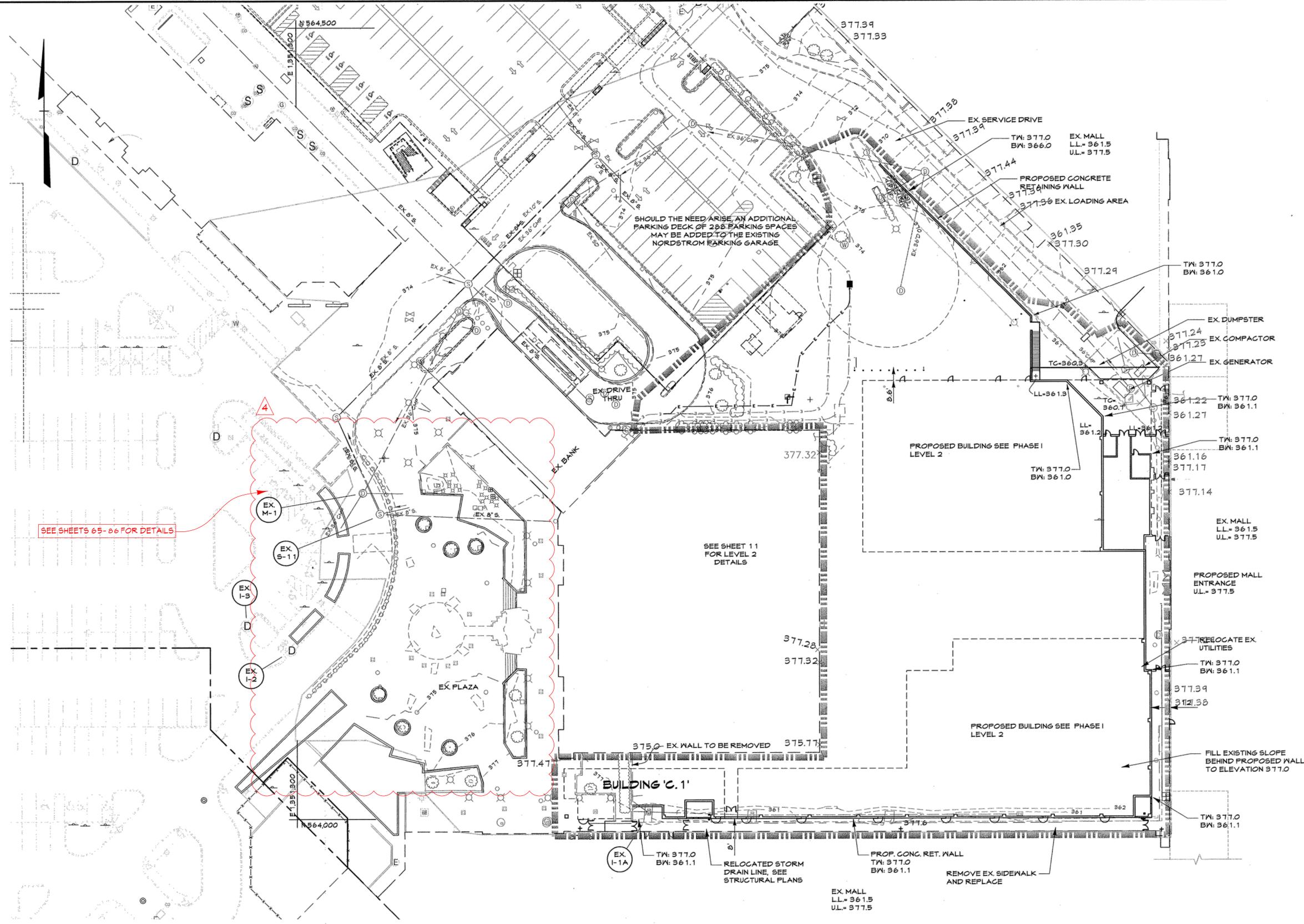
**SITE DEVELOPMENT PLAN - PHASE II**  
**THE MALL IN COLUMBIA**  
 BUILDING EXPANSION  
 COLUMBIA TOWN CENTER  
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
 SHEET 8 OF 95

C.E.I. PROJECT NUMBER  
 28141.02  
 SCALE:  
 1" = 30'

S:\2008\Facilities\28141.00 Columbia Mall\CIVIL\CADD\Drawings\SDP\Phase II\28141.02 (SDP-05 Ph2) Site Dev Plan Ph2.dwg Jan 11, 2015 9:16pm cddorin

**LEGEND**

- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Road
- Existing Trees/Tree Line
- Existing Curb & Gutter
- Existing Storm Drains
- Existing Water Main
- Existing Sanitary Sewer
- Existing Light
- Tract Boundary
- Utility Easement Line
- Existing Building
- Proposed Grades
- Proposed Sewer
- Proposed Water and Fire Hydrant
- Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- Proposed Building
- Proposed Retaining Wall
- Proposed Landscape Island
- Limit of Disturbance



SEE SHEETS 05-06 FOR DETAILS

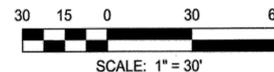
SEE SHEET 11 FOR LEVEL 2 DETAILS

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10941      EXPIRATION DATE: 8-28-19

**AS-BUILT CERTIFICATION FOR PSWM**  
 Note: There is no "AS-Built" information provided on this sheet.



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Chief, Development Engineering Division  
 Chief, Division of Land Development  
 Director

**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY:	M.J.P.	CEI	AS-BUILT	9/5/10
DRAWN BY:	M.S.S.	CEI	Demolition of water feature and utilities, tree pits and landscape boulders	
CHECKED BY:				
DATE:	1/17/10			
BY NO.			REVISION	DATE

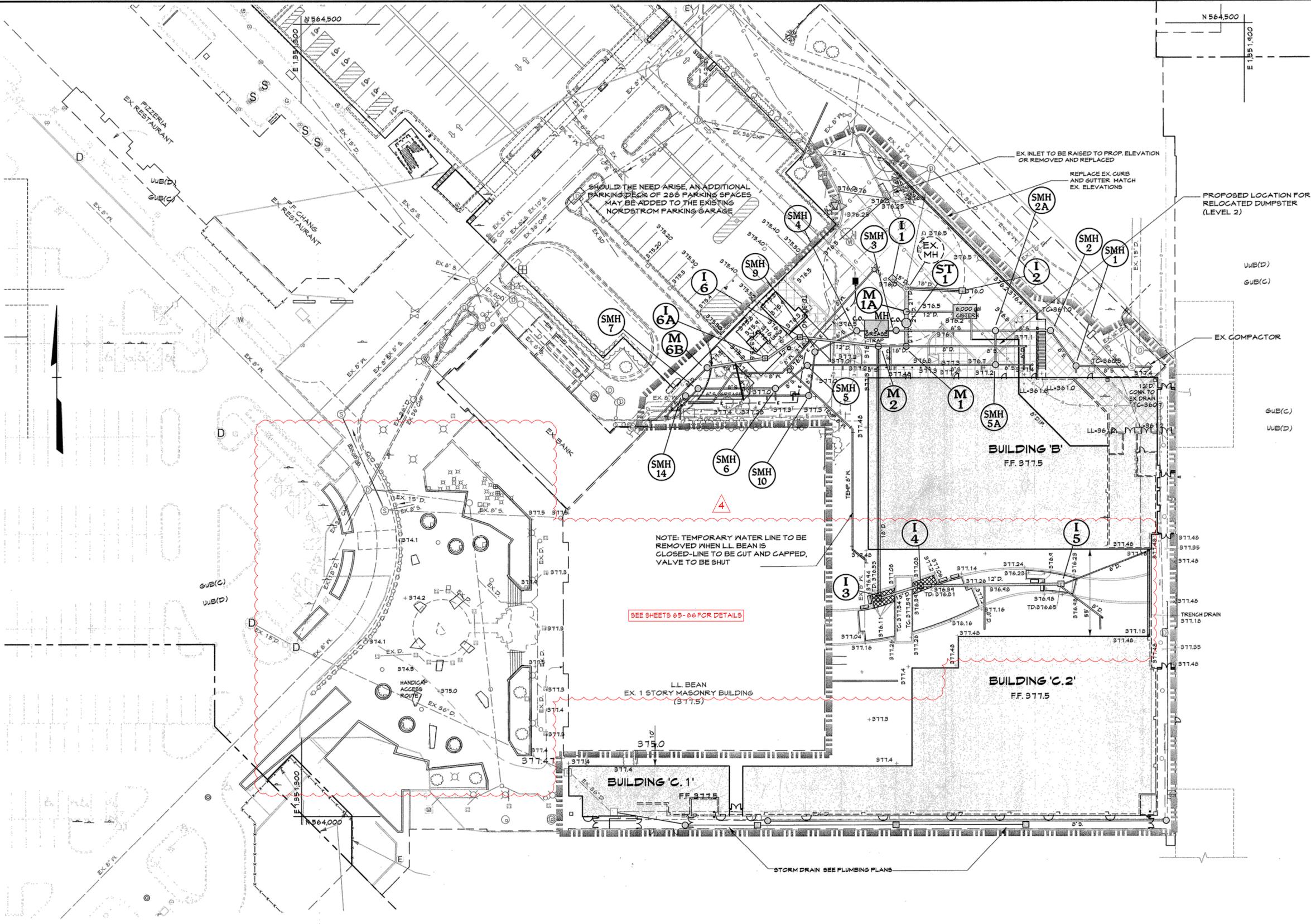
DEVELOPER  
**GENERAL GROWTH PROPERTIES**  
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000  
 COLUMBIA, MARYLAND 21044  
 410-992-6000

**GRADING & UTILITY PLAN - PHASE I - LEVEL 1**  
**THE MALL IN COLUMBIA**  
 BUILDING EXPANSION  
 COLUMBIA TOWN CENTER  
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
 SHEET 10 OF 45

C.E.I. PROJECT NUMBER  
 20141.02  
 SCALE:  
 1"=30'

S:\2008\Facilities\2014\1.00 Columbia Mall\CADD\Drawings\SDP\Phase I\2014\1.02 (GR-UT-O1) PH1-L1\Grading & Utility Plan Ph1 L1.dwg Jan 11, 2013 9:20pm cdoiron

S:\2008\Facilities\2814100 Columbia Mall\CADD\Drawings\SPDP\Phase I\2814102 (GR-UT-02 Ph1-1-2) Grading & Utility Plan Ph1 LV2.dwg Jan 11, 2013 9:22pm cddr/cn



**LEGEND**

- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Road
- Existing Trees/Tree Line
- Existing Curb & Gutter
- Existing Storm Drains
- EX. 8" W. EX. 18" D. Existing Water Main
- EX. 8" S. Existing Sanitary Sewer
- Existing Light
- Tract Boundary
- Utility Easement Line
- Existing Building
- Proposed Grades
- Proposed Sewer
- Proposed Water and Fire Hydrant
- Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- Proposed Building
- Proposed Retaining Wall
- Proposed Landscape Island
- Limit of Disturbance

SHOULD THE NEED ARISE, AN ADDITIONAL PARKING DECK OF 200 PARKING SPACES MAY BE ADDED TO THE EXISTING NORDSTROM PARKING GARAGE

NOTE: TEMPORARY WATER LINE TO BE REMOVED WHEN LL BEAN IS CLOSED-LINE TO BE CUT AND CAPPED, VALVE TO BE SHUT

SEE SHEETS 65-06 FOR DETAILS

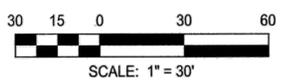
LL BEAN EX. 1 STORY MASONRY BUILDING (317.5)

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10451 EXPIRATION DATE: 8-26-10

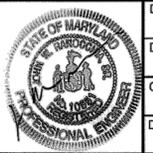
AS-BUILT CERTIFICATION FOR PSWM  
 Note: There is no "AS-Built" information provided on this sheet.



APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division	1/31/13
Chief, Division of Land Development	4-09-13
Director	2/11/13

**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY:	CEJ	AS-BUILT	9/1/10
DRAWN BY:	CEI	Demolition of water feature and utilities, grading revisions to plaza layout	
CHECKED BY:			
DATE:	1/14/13		
BY	NO.	REVISION	DATE

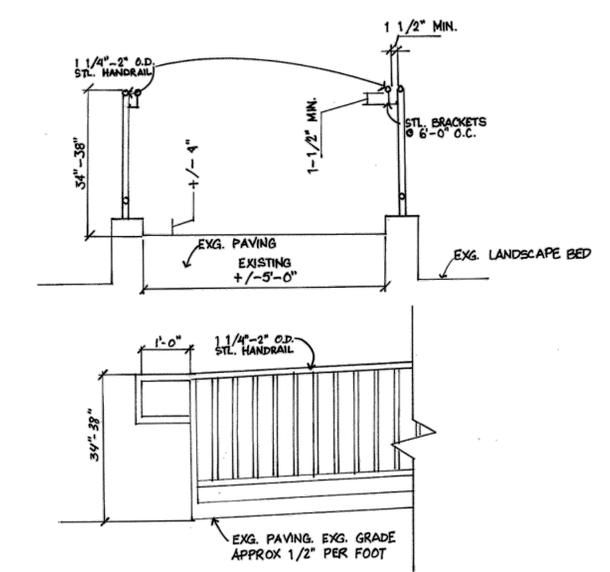
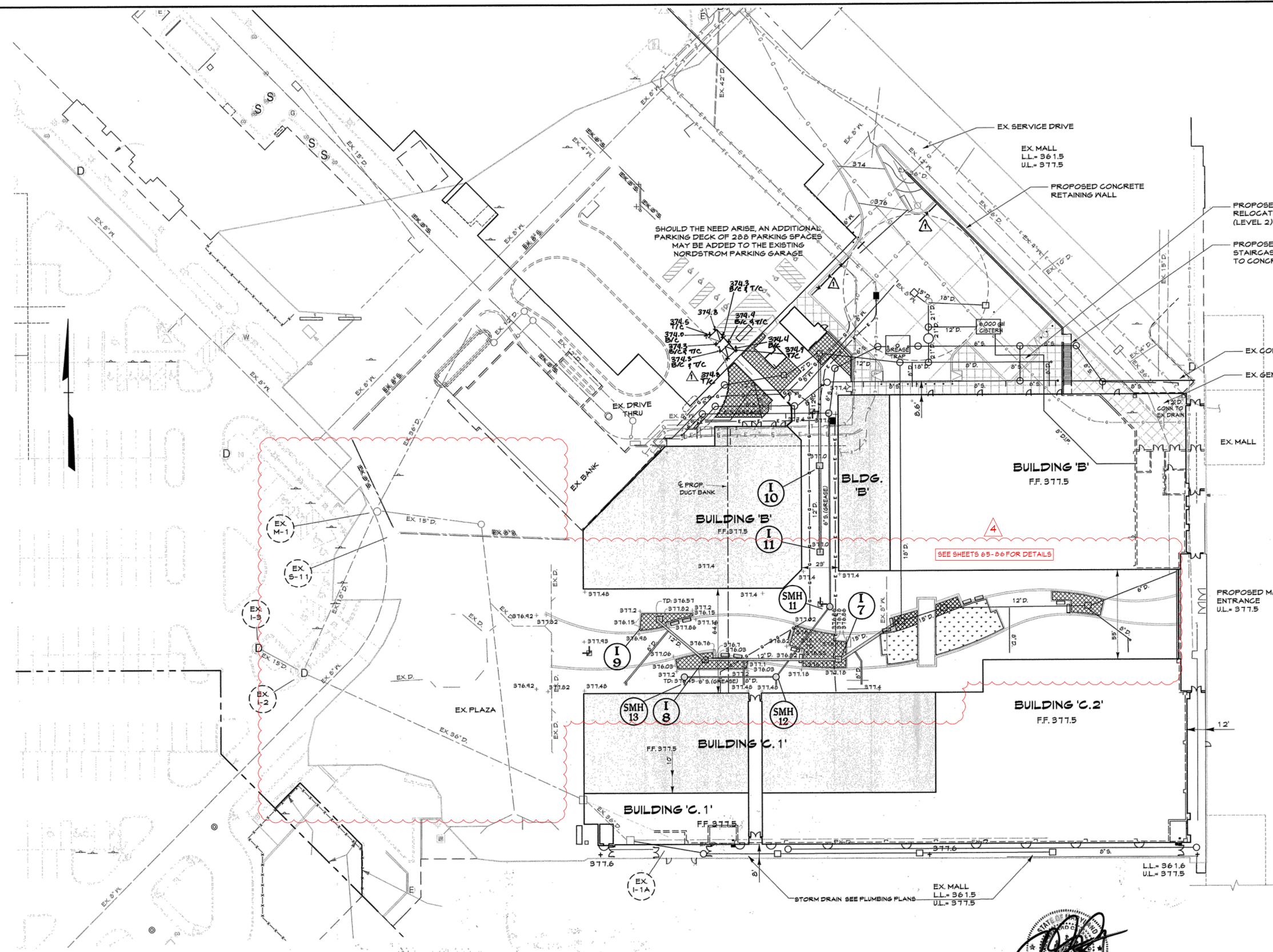
DEVELOPER  
**GENERAL GROWTH PROPERTIES**  
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000  
 COLUMBIA, MARYLAND 21044  
 410-992-6000

**GRADING & UTILITY PLAN - PHASE I - LEVEL 2**  
**THE MALL IN COLUMBIA**  
 BUILDING EXPANSION  
 COLUMBIA TOWN CENTER  
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
 SHEET 11 OF 95

C.E.I. PROJECT NUMBER  
 28141.02  
 SCALE:  
 1"=30'

**LEGEND**

- 676 --- Existing Minor Contour
- 670 --- Existing Major Contour
- - - - - Existing Edge of Road
- Existing Trees/Tree Line
- EX 15" D --- Existing Curb & Gutter
- EX 8" S --- Existing Storm Drains
- EX 8" S --- Existing Water Main
- EX 8" S --- Existing Sanitary Sewer
- Existing Light
- - - - - Tract Boundary
- - - - - Utility Easement Line
- Existing Building
- 660 --- Proposed Grades
- 8" S --- Proposed Sewer
- 8" W --- Proposed Water and Fire Hydrant
- 15" D --- Proposed Storm Drain and Inlets
- --- Proposed Curb & Gutter
- Proposed Building
- Proposed Retaining Wall
- Proposed Landscape Island
- Limit of Disturbance



**PROPOSED HANDRAIL**  
SCALE: N.T.S.

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

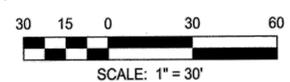
LICENSE NUMBER: 19571      EXPIRATION DATE: 6-25-17  
5-28-15

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 27020  
EXPIRATION DATE: JANUARY 25, 2016



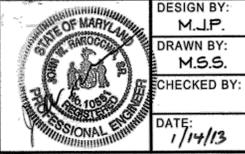
PAUL G. CAVANAUGH  
PROFESSIONAL ENGINEER NO. 27020

AS-BUILT CERTIFICATION FOR PSWM  
Note: There is no "AS-Built" information provided on this sheet.



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Chief, Development Engineering Division  
Chief, Division of Land Development  
Director

**M CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401



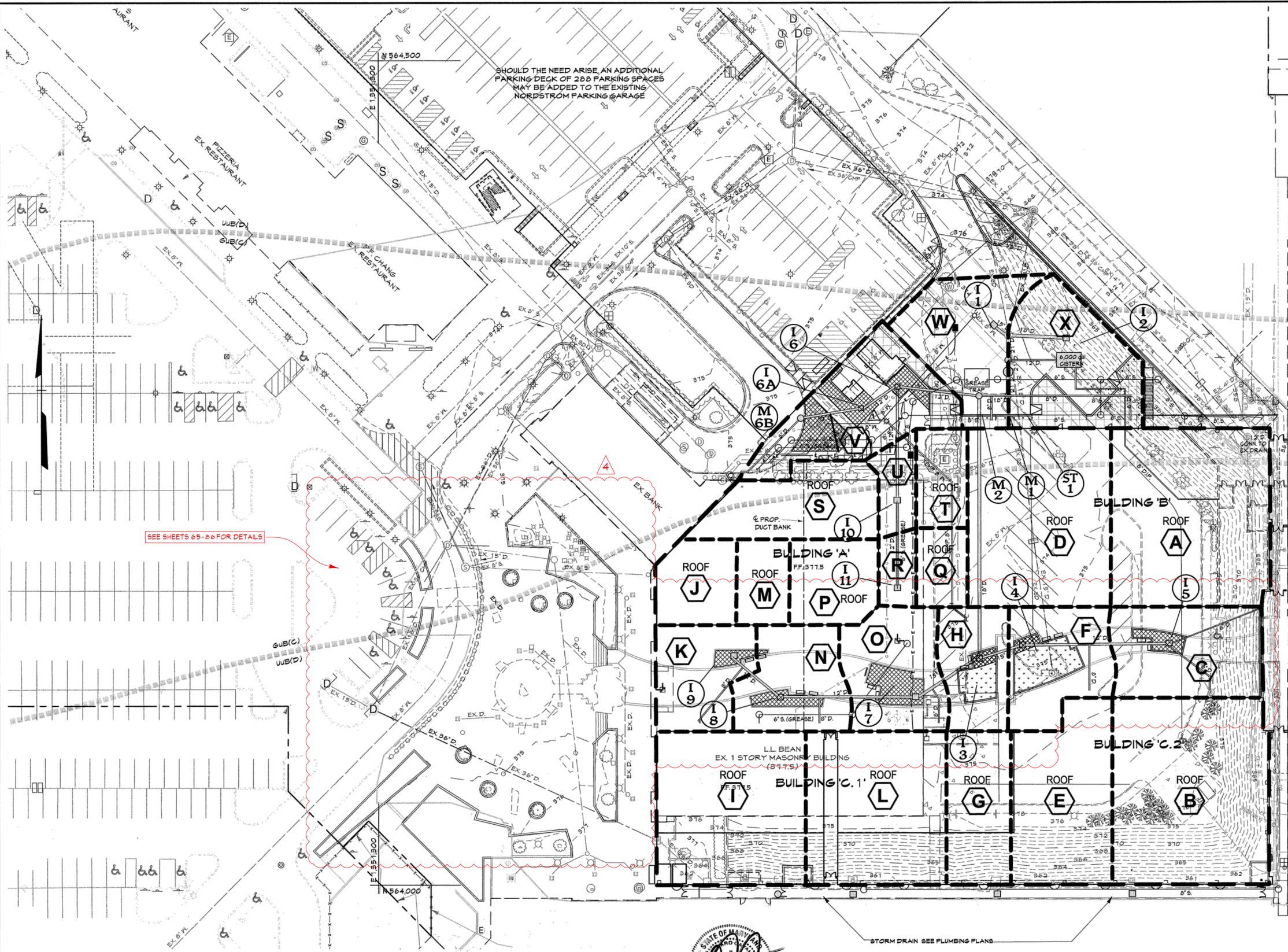
DESIGN BY:	M.J.P.		
DRAWN BY:	M.S.S.		
CHECKED BY:	CEI		
DATE:	1/14/13		
DOC	1	REDLINE REVISION TO ADD SCREEN WALL, SCREEN FENCE, AND RECONSTRUCT RAMP	09/10/15
CEI	3	AS-BUILT	9/5/16
BY	NO.	REVISION	DATE

DEVELOPER  
**GENERAL GROWTH PROPERTIES**  
10440 LITTLE PATUXENT PARKWAY, SUITE 1000  
COLUMBIA, MARYLAND 21044  
410-992-6000

**GRADING & UTILITY PLAN - PHASE II**  
**THE MALL IN COLUMBIA**  
BUILDING EXPANSION  
COLUMBIA TOWN CENTER  
TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
SHEET 12 OF 95

C.E.I. PROJECT NUMBER  
28141.02  
SCALE:  
1" = 30'

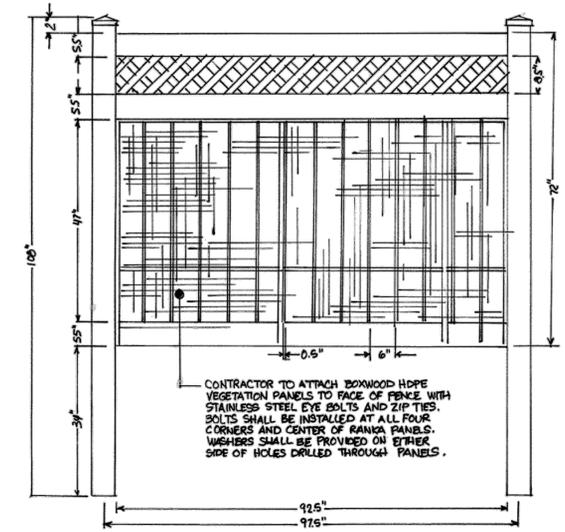
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N 564,500  
E 1351,900

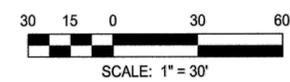
D.A.	AREA	'C'	% IMPERVIOUS
ROOF A	0.23	0.95	100
ROOF B	0.26	0.95	100
C	0.14	0.90	92
ROOF D	0.26	0.95	100
ROOF E	0.16	0.95	100
F	0.09	0.73	50
ROOF G	0.09	0.95	100
H	0.07	0.85	84
ROOF I	0.18	0.95	100
ROOF J	0.03	0.95	100
K	0.07	0.85	84
ROOF L	0.18	0.95	100
ROOF M	0.03	0.95	100
N	0.08	0.90	86
O	0.10	0.88	89
ROOF P	0.06	0.95	100
ROOF Q	0.04	0.95	100
R	0.02	0.95	100
ROOF S	0.09	0.95	100
ROOF T	0.04	0.95	100
U	0.02	0.95	100
V	0.16	0.75	50
W	0.09	0.95	100
X	0.14	0.90	89

SEE SHEETS 65-86 FOR DETAILS



**PROPOSED PRIVACY FENCE**  
SCALE: N.T.S.

FENCE SHALL BE VINYL PRIVACY FENCE BY ILLUSIONS WITH SMALL LATTICE TOPPER AND NEW ENGLAND POST CAPS. COLOR SHALL BE BROWN (1106). FENCE POSTS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 10551, Expiration Date 8-26-12



PAUL G. CAVANAUGH  
PROFESSIONAL ENGINEER NO. 27020

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE: JANUARY 25, 2016

AS-BUILT CERTIFICATION FOR PSMW  
Note: There is no "AS-Built" information provided on this sheet.

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Chief, Development Engineering Division  
Chief, Division of Land Development  
Director

**CENTURY ENGINEERS - PLANNERS**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401

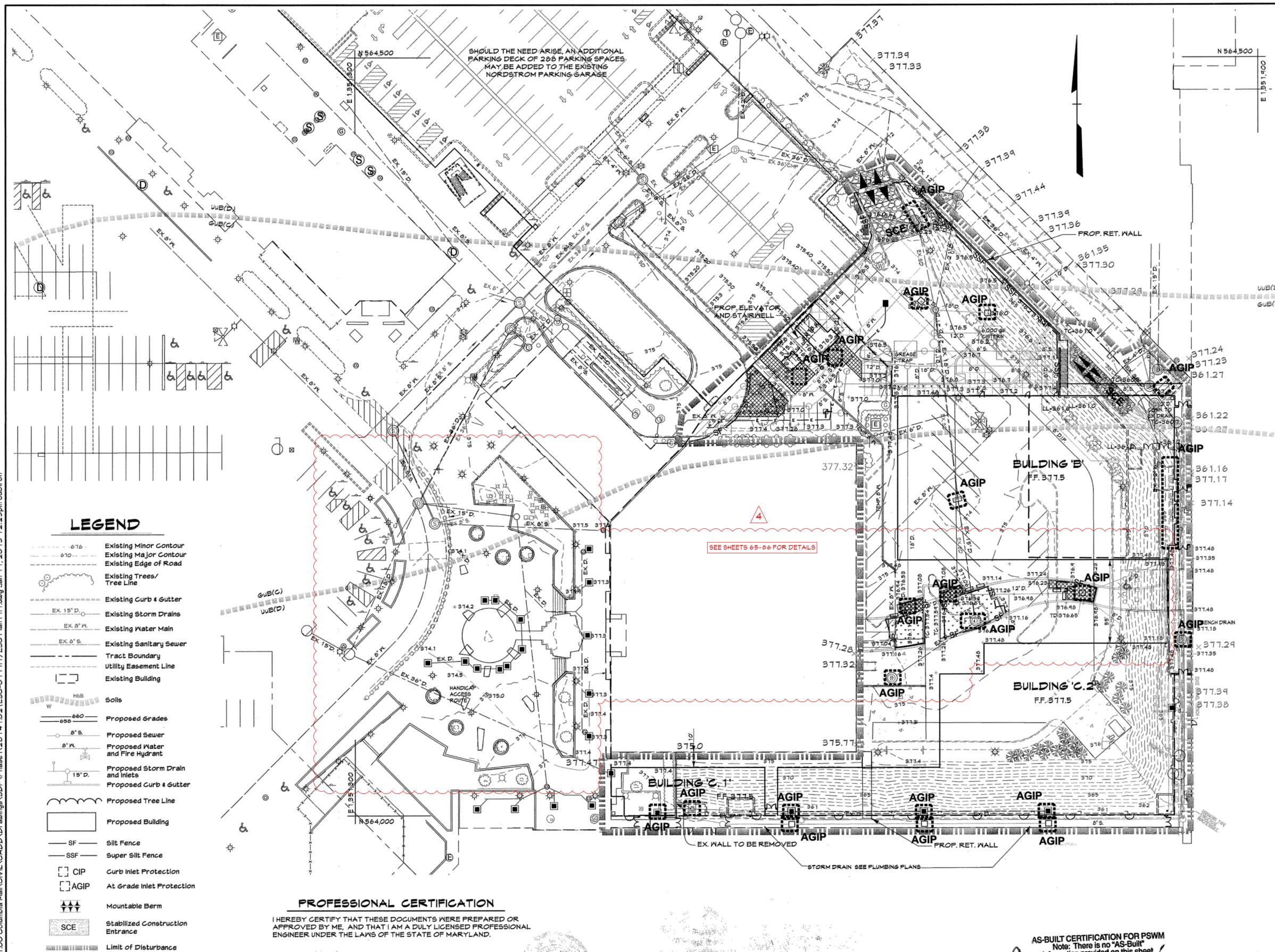


DESIGN BY:	DATE:	BY	NO.	REVISION	DATE
M.J.P.	1/17/13				
DRAWN BY:					
M.S.S.					
CHECKED BY:					
CEI					

DEVELOPER  
**GENERAL GROWTH PROPERTIES**  
10440 LITTLE PATUXENT PARKWAY, SUITE 1000  
COLUMBIA, MARYLAND 21044  
410-992-6000

**STORM DRAINS DRAINAGE AREA MAP**  
**THE MALL IN COLUMBIA**  
BUILDING EXPANSION  
COLUMBIA TOWN CENTER  
TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
SHEET 13 OF 95

C.E.I. PROJECT NUMBER  
20141.02  
SCALE:  
1"=30'



- ### SEQUENCE OF CONSTRUCTION
1. Obtain grading permits. (2 days)
  2. PHASE I  
Install erosion and sediment control measures (Stabilized construction entrances, SSF, inlet protection to existing inlets). (5 days)
  3. Contractor to relocate storm drain and other utilities in area of proposed retaining walls near existing mall. (15 days)
  4. Contractor to build retaining walls. (15 days)
  5. Contractor to backfill area behind retaining wall to elevation 377.11. Install SSF at top of retaining wall once backfill is complete in needed. (10 days)
  6. Contractor to relocate water line to existing LL. Bean building. Contractor to limit disturbance to water line and stabilize at the end of each day. (3 days)
  7. Contractor to build storm drain from Ex MH to I-3. Contractor to keep existing storm drain in service as long as possible. During a 3 day dry weather forecast, disconnect existing storm drain and connect proposed storm drain. Install inlet protection at I-3. (10 days)
  8. Rough grade remaining limits of phase I. Direct disturbed area to SSF, existing inlets or I-3. Construct remaining utilities, cisterns, stormceptor, micro bioretention facilities, parking lot, plaza and buildings. As inlets are installed install inlet protection. (60 days)
  9. Upon completion of micro bioretention facilities install silt fence as shown until the drainage area to these facilities are stabilized. (20 days)
  10. PHASE II  
Install erosion and sediment control measures (SF). (2 days)
  11. Remove existing building. Rough grade remaining limits of phase II. Direct disturbed area to SF or existing inlets. Construct remaining utilities, micro bioretention facilities, plaza and buildings. As inlets are installed install inlet protection. (60 days)
  12. Contractor to install permanent stabilization to disturbed areas. (7 days)
  13. Upon completion of micro bioretention facilities install silt fence as shown until the drainage area to these facilities are stabilized. (20 days)
  14. With approval from sediment control inspector contractor to remove remaining sediment control devices and permanently stabilize those areas disturbed by this process. (7 days)

NOTE: DEMOLITION WILL OCCUR WITHIN THE L.O.D. SHOWN. TEMPORARY STOCKPILES WITHIN THE L.O.D. WILL BE ESTABLISHED.

NOTE: SILT FENCE IS TO BE UPGRADED TO "SUPER" SILT FENCE ON PAVEMENT AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

### DEVELOPER'S CERTIFICATION

"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

*A. M. Kelly* 1.11.13  
 Signature of Developer Date  
 Print name below signature

### ENGINEER'S CERTIFICATION

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

*John P. Wheaton* 1/15/13  
 Signature of Engineer Date  
 Print name below signature

For the Howard Soil Conservation District  
 This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.  
*John P. Wheaton* 1/15/13  
 Howard Soil Conservation District Date

- ### LEGEND
- Existing Minor Contour
  - Existing Major Contour
  - Existing Edge of Road
  - Existing Trees/ Tree Line
  - Existing Curb & Gutter
  - Existing Storm Drains
  - Existing Water Main
  - Existing Sanitary Sewer
  - Tract Boundary
  - Utility Easement Line
  - Existing Building
  - Soils
  - Proposed Grades
  - Proposed Sewer
  - Proposed Water and Fire Hydrant
  - Proposed Storm Drain and Inlets
  - Proposed Curb & Gutter
  - Proposed Tree Line
  - Proposed Building
  - Silt Fence
  - Super Silt Fence
  - Curb Inlet Protection
  - At Grade Inlet Protection
  - Mountable Berm
  - Stabilized Construction Entrance
  - Limit of Disturbance

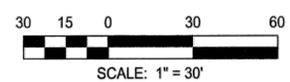
### PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 14797 EXPIRATION DATE: 8-28-13

### AS-BUILT CERTIFICATION FOR PSWM

Note: There is no "AS-Built" information provided on this sheet.



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Chief, Development Engineering Division  
 Chief, Division of Land Development  
 Director

**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY:	M.J.P.	DATE:	1/13/13
DRAWN BY:	M.S.S.	DATE:	4-09-13
CHECKED BY:		DATE:	2/14/13
DATE:		DATE:	
BY NO.		REVISION	

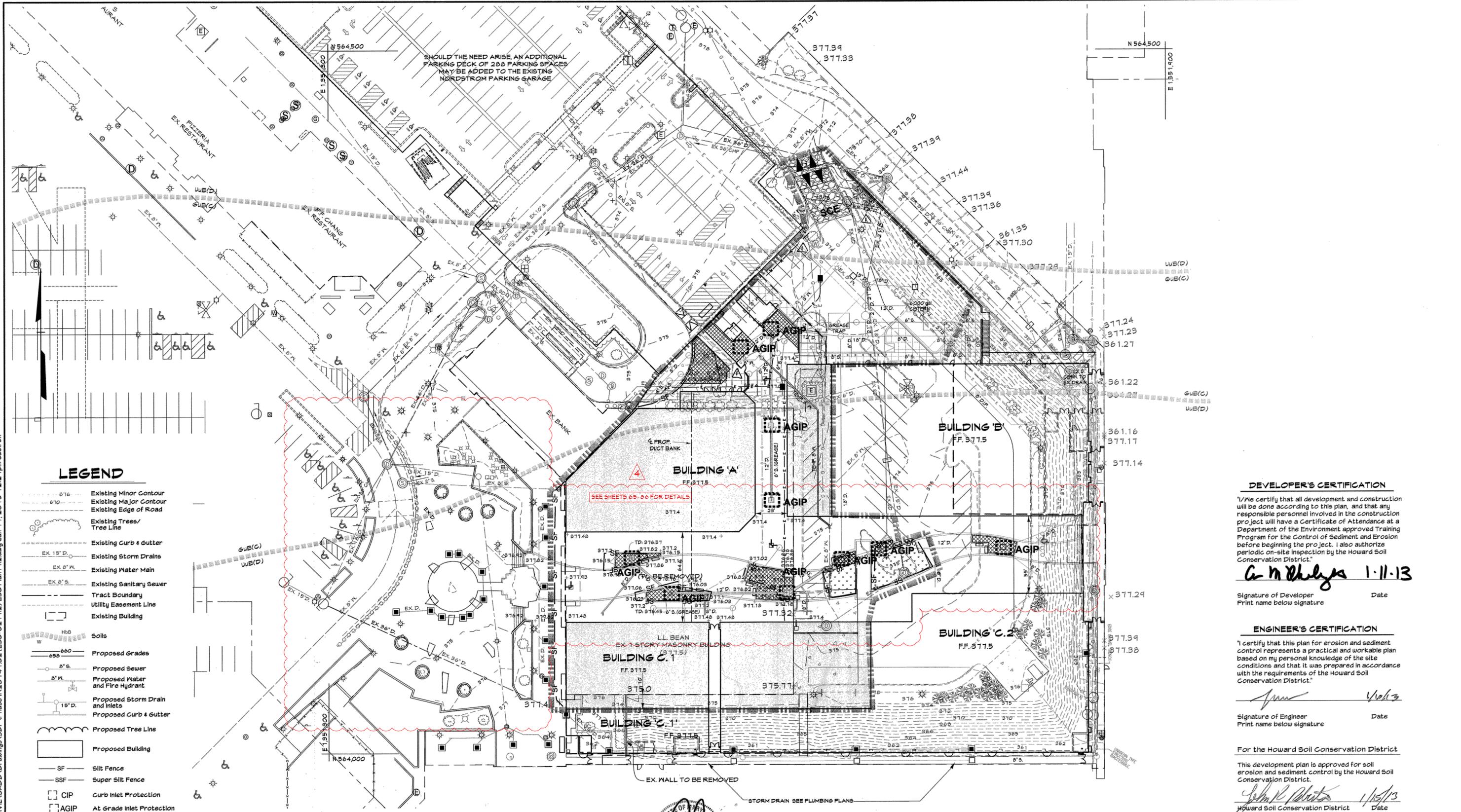
DEVELOPER  
**GENERAL GROWTH PROPERTIES**  
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000  
 COLUMBIA, MARYLAND 21044  
 410-992-6000

EROSION & SEDIMENT CONTROL PLAN - PHASE I  
**THE MALL IN COLUMBIA**  
 BUILDING EXPANSION  
 COLUMBIA TOWN CENTER  
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
 SHEET 16 OF 95

C.E.I. PROJECT NUMBER: 28141.02  
 SCALE: 1" = 30'

S:\2008\Facilities\28141.00 Columbia Mall\CIVIL\CADD\Drawings\SDP\Phase I\ESC-01 Ph1 ESC Plan Ph1.dwg Jan. 11, 2013 12:25pm cdoiron

6/20/08\Facilities\28141.00 Columbia Mall\CADD\Drawings\SDP\Phase II\28141.02 (ESC-02 PH2) ESC Plan PH2.dwg Jan 11, 2013 12:12:13pm ccdolton



**LEGEND**

- 676 Existing Minor Contour
- 670 Existing Major Contour
- Existing Edge of Road
- Existing Trees/Tree Line
- Existing Curb & Gutter
- EX. 15" D. Existing Storm Drains
- EX. 8" M. Existing Water Main
- EX. 8" S. Existing Sanitary Sewer
- Tract Boundary
- Utility Easement Line
- Existing Building
- HbB Soils
- 660 Proposed Grades
- 8" S. Proposed Sewer
- 8" M. Proposed Water and Fire Hydrant
- 15" D. Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- Proposed Tree Line
- Proposed Building
- SF Silt Fence
- SSF Super Silt Fence
- CIP Curb Inlet Protection
- AGIP At Grade Inlet Protection
- Mountable Berm
- SCE Stabilized Construction Entrance
- Limit of Disturbance

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 12721 EXPIRATION DATE: 8-28-13

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRATION DATE: JANUARY 23, 2016

PAUL G. CAVANAUGH  
PROFESSIONAL ENGINEER NO. 27020

NOTE: DEMOLITION WILL OCCUR WITHIN THE L.O.D. SHOWN. TEMPORARY STOCKPILES WITHIN THE L.O.D. WILL BE ESTABLISHED.

NOTE: SILT FENCE IS TO BE UPGRADED TO 'SUPER' SILT FENCE ON PAVEMENT AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

**DEVELOPER'S CERTIFICATION**

I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

*G. M. Whelton* 1-11-13  
Signature of Developer Date

**ENGINEER'S CERTIFICATION**

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

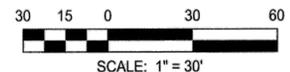
*John R. Roberts* 1/15/13  
Signature of Engineer Date

For the Howard Soil Conservation District

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

*John R. Roberts* 1/15/13  
Howard Soil Conservation District Date

AS-BUILT CERTIFICATION FOR PSWM  
Note: There is no 'AS-Built' information provided on this sheet.



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Chief, Development Engineering Division  
Chief, Division of Land Development  
Director

**M CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY:	M.J.P.	DDC	1	REDLINE REVISION TO ADD SCREEN WALL, SCREEN FENCE, AND RECONSTRUCT RAMP	09/16/13
DRAWN BY:	M.S.S.	CEI	3	AS-BUILT	9/11/13
CHECKED BY:	CEI	A		Demolition of water feature, revisions to ESC measures	
DATE:		BY	NO.	REVISION	DATE

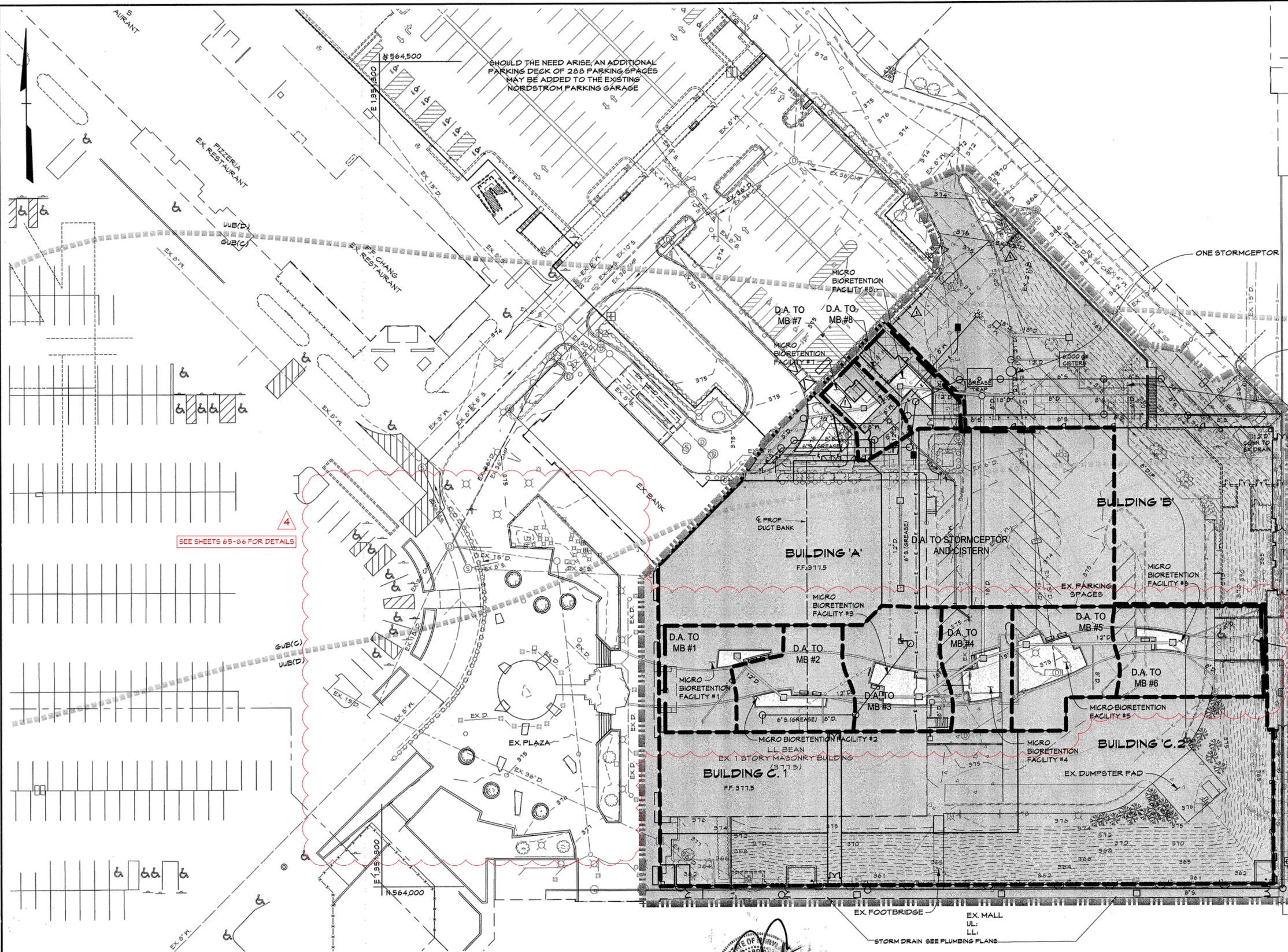
DEVELOPER  
**GENERAL GROWTH PROPERTIES**  
10440 LITTLE PATUXENT PARKWAY, SUITE 1000  
COLUMBIA, MARYLAND 21044  
410-992-6000

EROSION & SEDIMENT CONTROL PLAN - PHASE II  
**THE MALL IN COLUMBIA**  
BUILDING EXPANSION  
COLUMBIA TOWN CENTER  
TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
SHEET 17 OF 45

C.E.I. PROJECT NUMBER  
28141.02  
SCALE:  
1"=30'

**LEGEND**

- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Road
- Existing Trees/Tree Line
- Existing Curb & Gutter
- Existing Storm Drains
- Existing Water Main
- Existing Sanitary Sewer
- Tract Boundary
- Utility Easement Line
- Existing Building
- Soils
- Proposed Impervious Area
- Drainage Divide
- Drainage Area to Stormceptor and Cistern

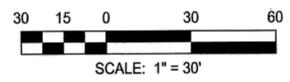


- SWM MANAGEMENT IS BEING PROVIDED BY THE FOLLOWING METHODS
- 8 MICRO BIO RETENTION FACILITIES WHICH ARE TREATING PART OF THE NEW ESD VOLUME.
  - 1 6,000 GALLON CISTERN WHICH IS TREATING PART OF THE ESD VOLUME. THE WATER FROM THE CISTERN WILL BE USED TO IRRIGATE THE EXISTING LANDSCAPE AREAS IN THE OVERALL MALL AREA AND SURROUNDING COMMUNITY AND TO WASH VEHICLES. THE CISTERN WATER WILL REPLACE POTABLE WATER NOW BEING USED FOR THIS PURPOSE.
  - A STORMCEPTOR IS AN APPROVED PRACTICE FOR TREATING WATER QUALITY IN REDEVELOPMENT AREA.

FACILITY	D.A. TO FACILITY (AC.)	IMPERVIOUS AREA	PERVIOUS AREA
stormceptor	2.17	2.07	0.1
(M-6) M.B. #1	0.07	0.06	0.01
(M-6) M.B. #2	0.08	0.07	0.01
(M-6) M.B. #3	0.10	0.09	0.01
(M-6) M.B. #4	0.07	0.06	0.01
(M-6) M.B. #5	0.09	0.06	0.03
(M-6) M.B. #6	0.13	0.12	0.01
(M-6) M.B. #7	0.04	0.03	0.01
(M-6) M.B. #8	0.04	0.03	0.01
(M-1) CISTERN	2.17	2.07	0.1

**SUMMARY TABLE**

ESDV Required (new development):	4,813 C.F.
ESDV Provided:	4,877 C.F.
Pe:	1.0' (Redevelopment)
Pe:	1.84 (New Development)
Q10, Q100	Not Required
ESDV Required (redevelopment):	3,718 C.F.
ESDV Provided:	by stormceptor



**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10991      EXPIRATION DATE: 8-26-19



PAUL G. CAVANAUGH  
PROFESSIONAL ENGINEER NO. 27020

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 27020 EXPIRATION DATE: JANUARY 24, 2016

AS-BUILT CERTIFICATION FOR PSWMM  
Note: There is no "AS-Built" information provided on this sheet.

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Chief, Development Engineering Division  
Chief, Division of Land Development  
Director

Date: 1/31/15  
Date: 4-09-13  
Date: 2/11/12

**M CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401

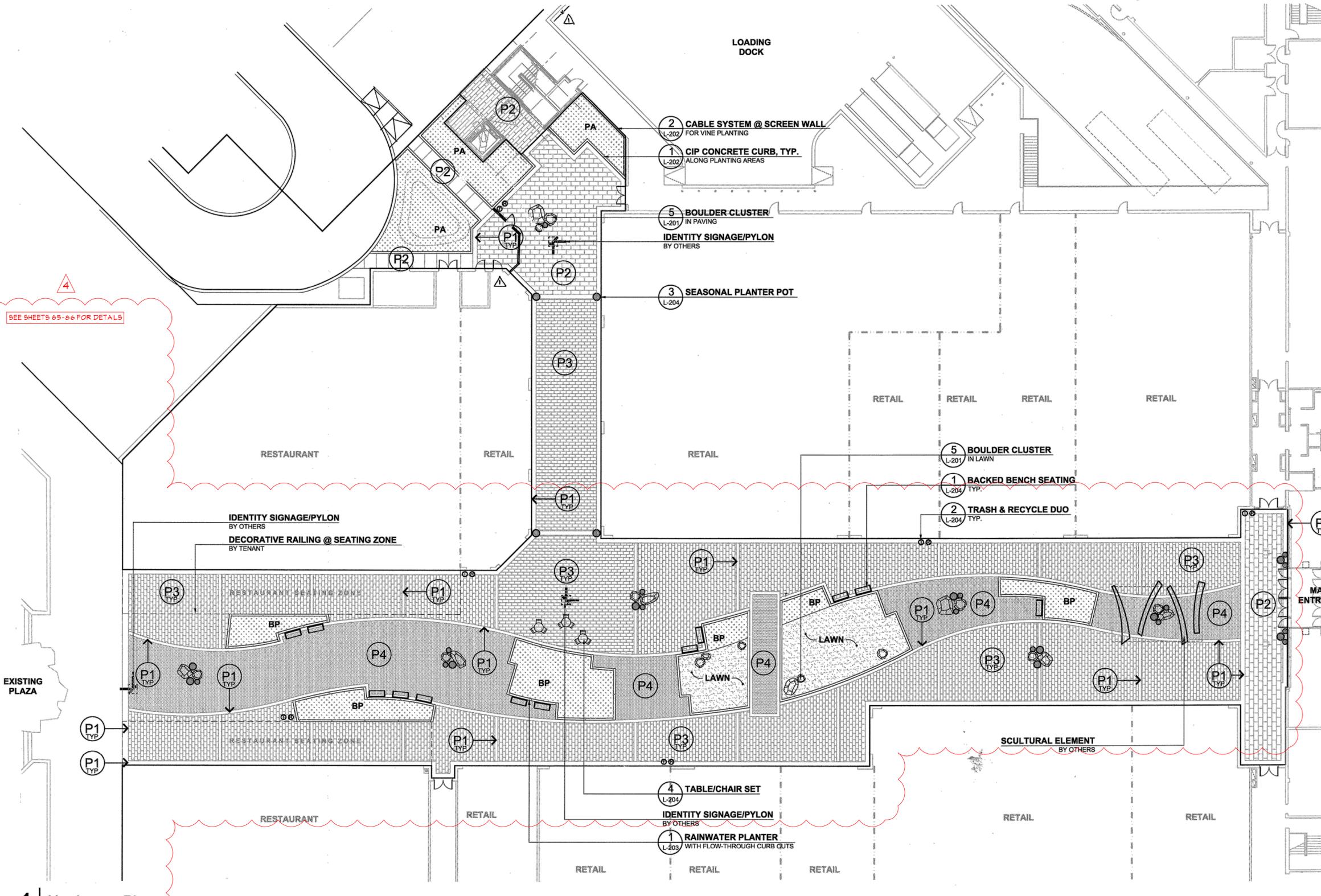


DESIGN BY:	M.J.P.	DDC 1	REDLINE REVISION TO ADD SCREEN WALL, SCREEN FENCE, AND RECONSTRUCT RAMP	09/18/15
DRAWN BY:	M.S.S.	CEI 3	AS-BUILT	9/15/19
CHECKED BY:	CEI	4	Revisions to SWM proposed conditions drainage area maps	
DATE:	1/14/13	BY NO.	REVISION	DATE

DEVELOPER  
**GENERAL GROWTH PROPERTIES**  
10440 LITTLE PATUXENT PARKWAY, SUITE 1000  
COLUMBIA, MARYLAND 21044  
410-992-6000

**SWM PROPOSED CONDITIONS DRAINAGE AREA MAP**  
**THE MALL IN COLUMBIA**  
BUILDING EXPANSION  
COLUMBIA TOWN CENTER  
TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
SHEET 22 OF 45

C.E.I. PROJECT NUMBER: 28141.02  
SCALE: 1" = 30'



**Hardscape Legend**

- Paving**
- (P1) (2) CONCRETE BANDING  
12", 18" OR 24" WIDE CONCRETE BAND  
W/ DECORATIVE SCORING
  - (P2) (3) CONCRETE PAVING  
CONCRETE PAVING W/ DECORATIVE SCORING;  
SEE L-104 FOR PATTERN
  - (P3) (4) CONCRETE PAVERS  
12"x24" RUNNING BOND PAVER FIELD  
TO MATCH EXISTING MALL PAVERS;  
SEE L-104 FOR PATTERN & TYPE
  - (P4) (4) CONCRETE PAVERS  
RANDOM RUNNING BOND PAVER FIELD  
CONSISTING OF NEW COLOR PALETTE;  
SEE L-104 FOR PATTERN & TYPE

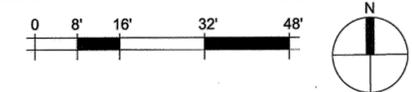
**Furnishings**  
REFER TO SHEET L-204 FOR FURNISHING TYPES.

**HARDSCAPE NOTES:**

- REFER TO SHEETS L-102, L-103 & L-104 FOR LAYOUT INFORMATION.
- PA = PLANTING AREA, SEE SHEET L-301 FOR PLANTING PLAN.
- BP = BIORETENTION PLANTING AREA, SEE SHEET L-301 FOR PLANTING PLAN.
- REFER TO LIGHTING PLANS FOR SITE LIGHTING.
- REFER TO CIVIL PLANS FOR PLAZA GRADING.

SEE SHEETS 65-66 FOR DETAILS

**1 Hardscape Plan**  
Scale: 1/16" = 1'-0"



PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS  
WERE PREPARED OR APPROVED BY ME AND  
THAT I AM A FULLY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE STATE  
OF MARYLAND, LICENSE NO. 27020  
EXPIRATION DATE: JANUARY 25, 2016



PAUL G. CAVANALGH  
PROFESSIONAL ENGINEER NO. 27020

POSTING OF SURETY FOR REQUIRED  
LANDSCAPING IN ACCORDANCE WITH  
DOWNTOWN GUIDELINES IN THE AMOUNT  
OF \$5,010.00 FOR 1 SHADE TREES, 6  
ORNAMENTAL / EVERGREEN, 127 SHRUBS  
AND 2 LINEAR FEET OF FENCING/WALLS.  
FINANCIAL SURETY FOR THE REQUIRED  
LANDSCAPING MUST BE POSTED AS PART  
OF THE DEVELOPER'S AGREEMENT.

LANDSCAPE  
ARCHITECT SEAL



THE DESIGN IS IN COMPLIANCE WITH THE  
MALL IN COLUMBIA NEIGHBORHOOD DESIGN  
GUIDELINES - DOWNTOWN COLUMBIA.

**MAHAN RYKIEL**  
ASSOCIATES, INC.  
The Staff Silver Building, 800 Western Park Drive,  
Suite 100, Baltimore, MD 21211-4102, 235.0031

AS-BUILT CERTIFICATION FOR PSWM  
Note: There is no "AS-Built"  
information provided on this sheet.

AS BUILT

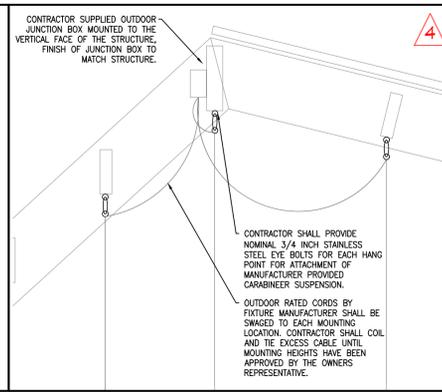
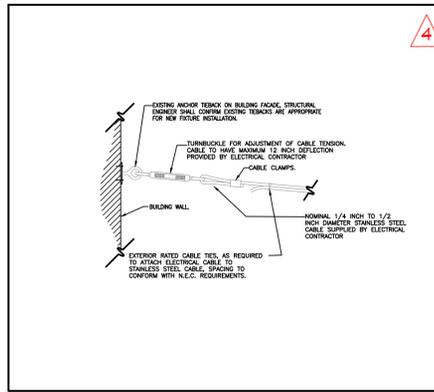
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Chief, Development Engineering Division  
Chief, Division of Land Development  
Director

**CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY:	DOC	1	REDLINE REVISION TO ADD SCREEN WALL, SCREEN FENCE AND RECONSTRUCT RAMP	09/18/15
M.J.P.	CEI	3	AS BUILT	9/15/18
DRAWN BY:	CEI	4	Revisions to plaza layout, proposed site amenities and trellis structures	
M.S.S.				
CHECKED BY:				
DATE:				
BY	NO.		REVISION	DATE

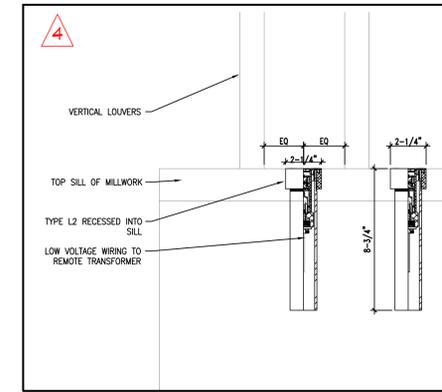
DEVELOPER  
**GENERAL GROWTH PROPERTIES**  
10440 LITTLE PATUXENT PARKWAY, SUITE 1000  
COLUMBIA, MARYLAND 21044  
410-992-6000

**HARDSCAPE PLAN**  
**THE MALL IN COLUMBIA**  
COLUMBIA TOWN CENTER  
TAX MAP: 30, 36 LOT: 47 PARCEL: 460  
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
SHEET 31 OF 95  
SCALE:  
SDP-13-016

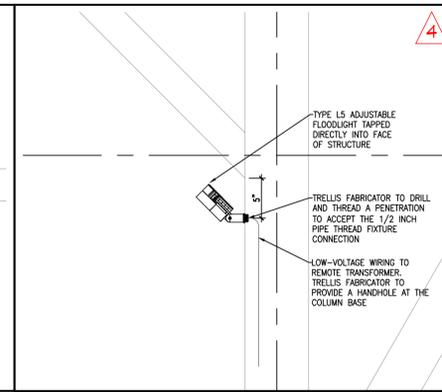


CATENARY TIE BACK FOR MOUNTING OF TYPE L1 FIXTURES  
SCALE: NTS

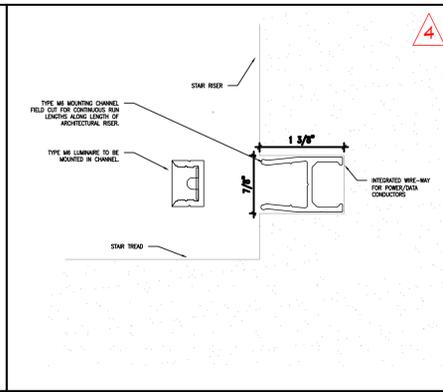
TYPE F1 / F1A PENDANT MOUNT SECTION  
SCALE: 1-1/2"=1'-0"



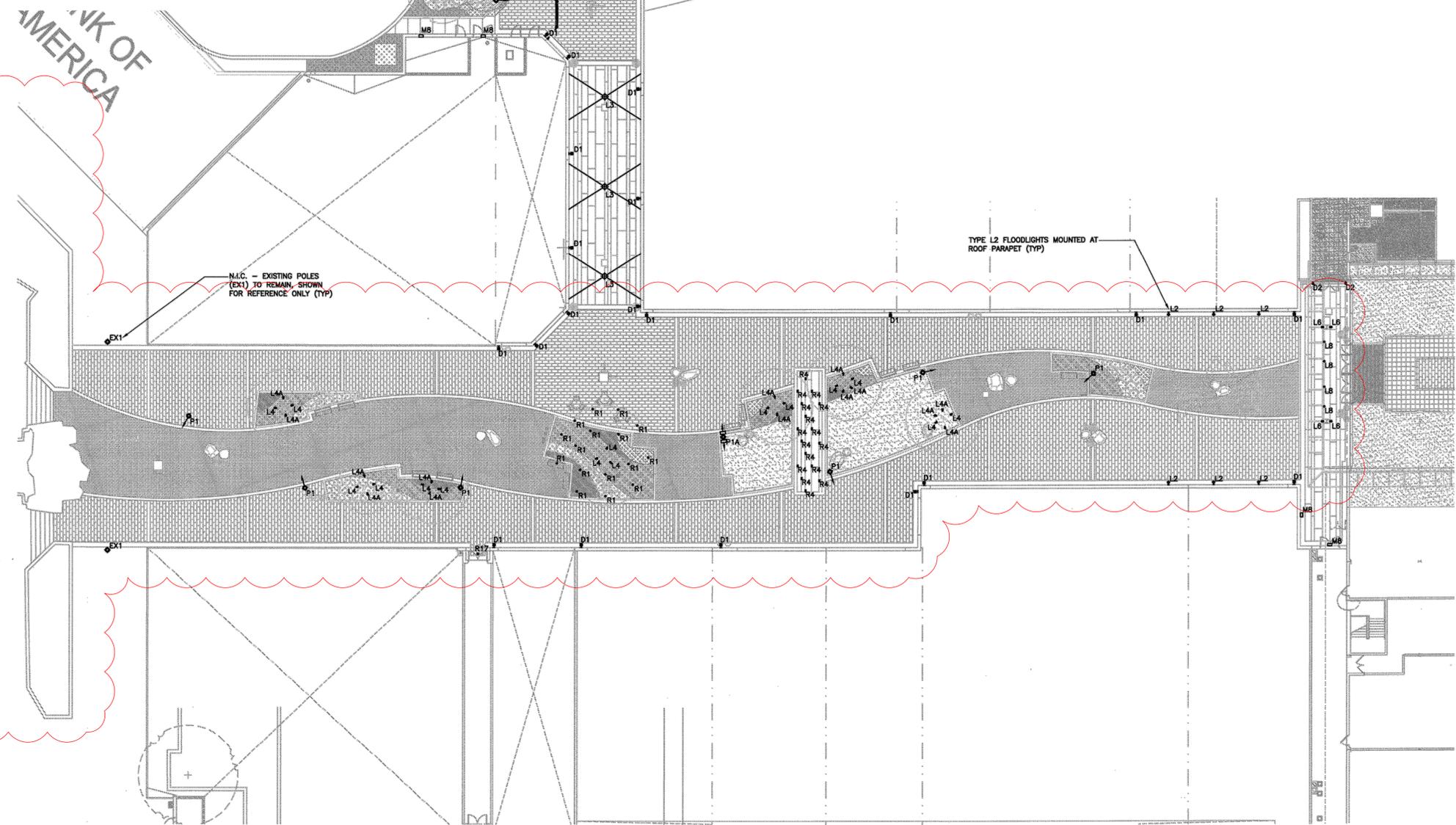
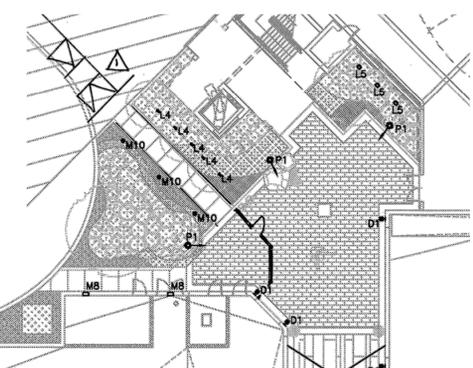
TYPE L2 SECTION DETAIL  
SCALE: 3"=1'-0"



TYPE L5 OUTER-SECTION DETAIL  
SCALE: 1-1/2"=1'-0"



TYPE M6 FIXTURES MOUNTED IN STAIR RISERS  
SCALE: 1'-0"=1'-0"



PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 27020. EXPIRATION DATE: JANUARY 24, 2016.

THIS DESIGN IS IN COMPLIANCE WITH 'THE MALL NEIGHBORHOOD DESIGN GUIDELINES' OF DOWNTOWN COLUMBIA (ver. 4/11/2012)



AS-BUILT CERTIFICATION FOR PSWM  
Note: There is no "AS-Built" information provided on this sheet.

AS-BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Chief, Development Engineering Division  
Date: 1/31/13  
Chief, Division of Land Development  
Date: 4-09-13  
Director  
Date: 4/11/13

**CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401

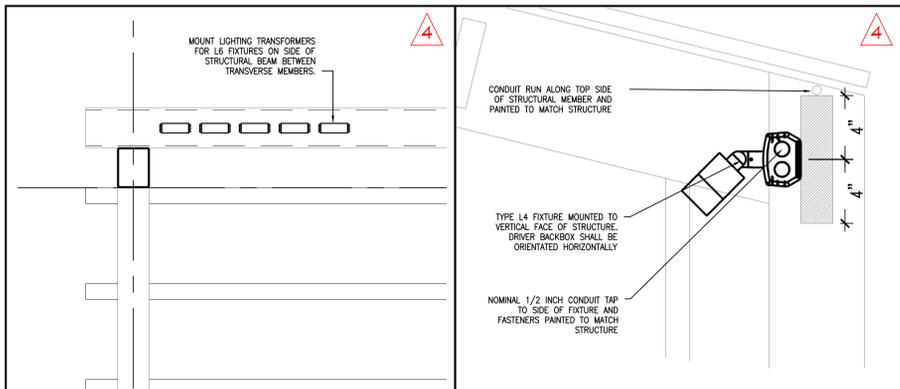
DESIGN BY:	DOC	1	REDLINE REVISION TO ADD SCREEN WALL, SCREEN FENCE, AND RECONSTRUCT RAMP	09/18/15
M.J.P.	CEI	3	AS-BUILT	7/5/19
DRAWN BY:	CEI	4	Revisions to plaza site lighting, details of newly proposed lighting this sheet.	
M.S.S.				
CHECKED BY:				
DATE:				
EY	NO.		REVISION	DATE

DEVELOPER  
**GENERAL GROWTH PROPERTIES**  
10440 LITTLE PATUXENT PARKWAY, SUITE 1000  
COLUMBIA, MARYLAND 21044  
410-992-6000

BUILDING AND SITE LIGHTING PLAN  
**THE MALL IN COLUMBIA**  
COLUMBIA TOWN CENTER  
TAX MAP: 30, 36 LOT: 47 PARCEL: 460  
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
SHEET 41 OF 95

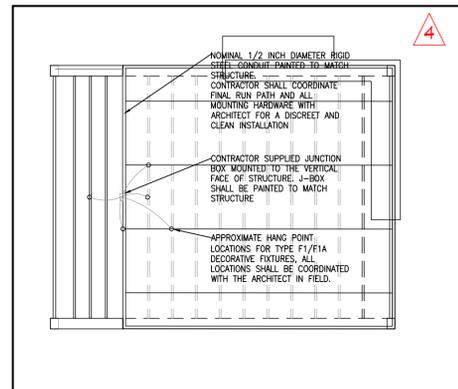
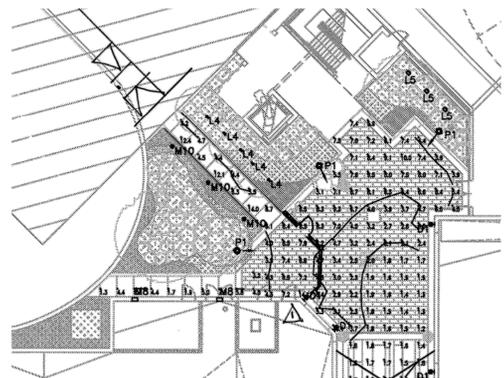
C.E.I. PROJECT NUMBER  
28141.02  
SCALE:  
1"=20'

F:\LP\20\11082\LP\SDP-01and SDP-02 Building & Site Lighting Plan and Photometric Lighting Plan.dwg Oct 19, 2012 4:25pm jwidmer

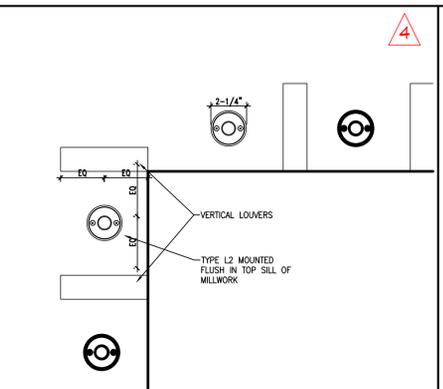


TYPE L6 TRANSFORMER MOUNTING DETAIL  
SCALE: 1-1/2"=1'-0"

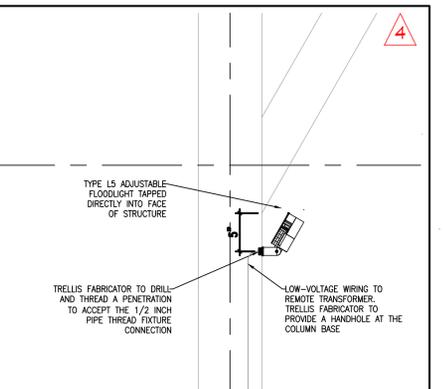
TYPE L4 SECTION MOUNTING DETAIL  
SCALE: 3"=1'-0"



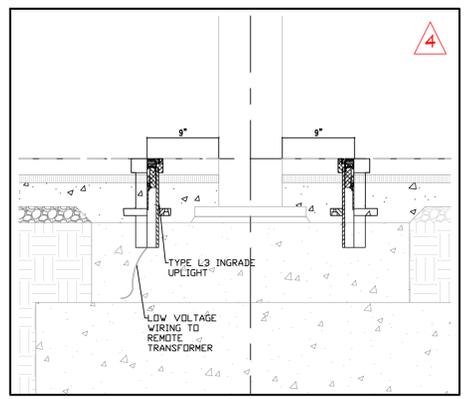
TYPE F1 / F1A PENDANT MOUNT PLAN  
SCALE: 1/4"=1'-0"



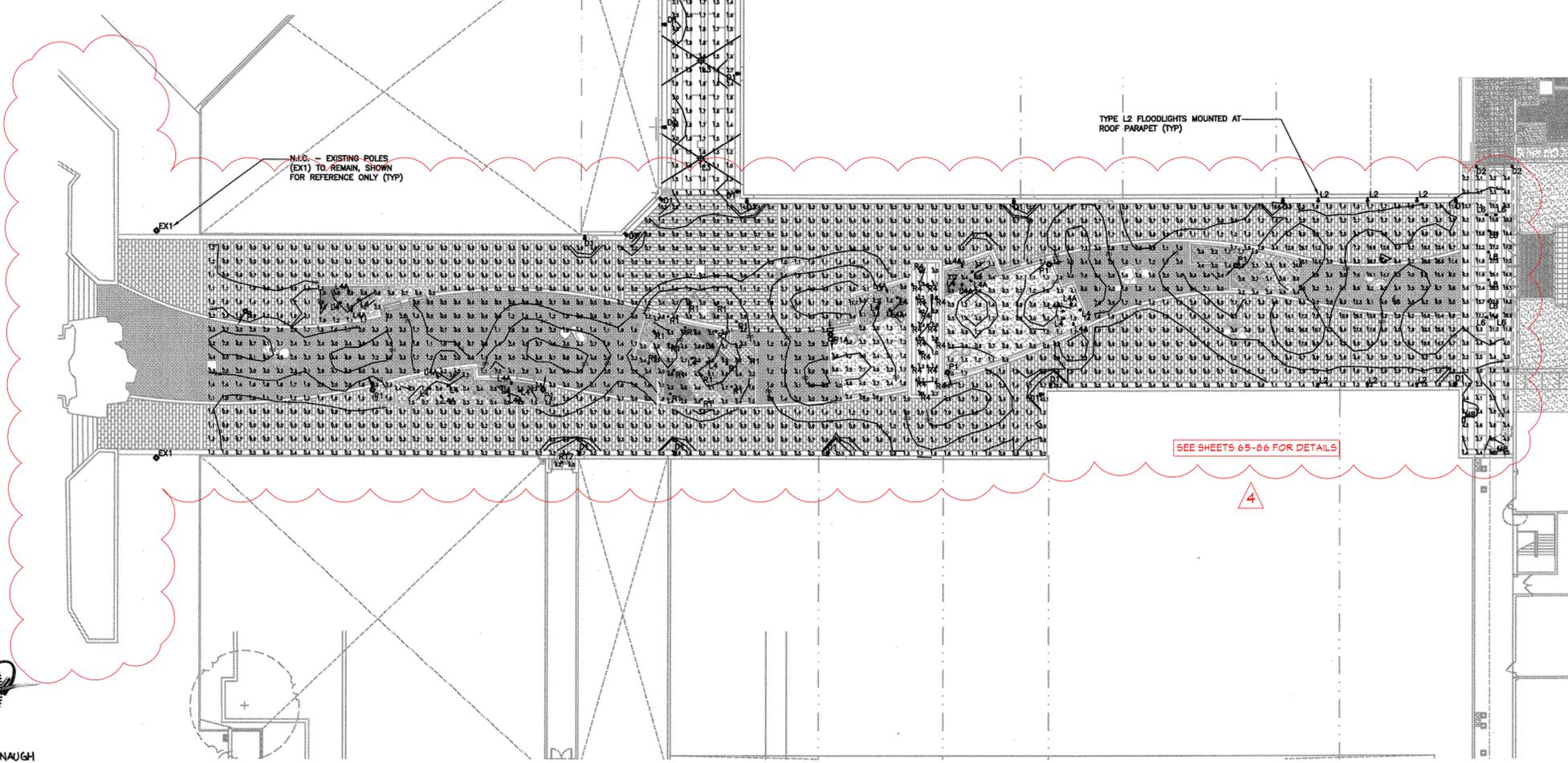
TYPE L2 PLAN DETAIL  
SCALE: 3"=1'-0"



TYPE L5 INNER-SECTION DETAIL  
SCALE: 1-1/2"=1'-0"



TYPE L3 - SECTION DETAIL  
SCALE: 1-1/2"=1'-0"



STATE OF MARYLAND  
PAUL G. CAVANAUGH  
PROFESSIONAL ENGINEER NO. 27020

THIS DESIGN IS IN COMPLIANCE WITH 'THE MALL NEIGHBORHOOD DESIGN GUIDELINES' OF DOWNTOWN COLUMBIA (ver. 4/11/2012)

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	illuminance	Fc	3.76	38.6	0.2	18.80	193.00

AS-BUILT CERTIFICATION FOR PSWM  
Note: There is no 'AS-Built' information provided on this sheet.

AS-BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Chief, Development Engineering Division  
Date: 1/31/13  
Chief, Division of Land Development  
Date: 1/09/13  
Director  
Date: 1/11/13

**CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY:	DJC	1	REDLINE REVISION TO ADD SCREEN WALL, SCREEN FENCE, AND RECONSTRUCT RAMP	09/18/15
DRAWN BY:	M.S.S.	CEI 3	AS-BUILT	9/5/13
CHECKED BY:	M.S.S.	CEI	Revisions to exterior lighting photometric plan; details of newly proposed lighting this sheet	
DATE:				
BY	NO.		REVISION	DATE

DEVELOPER  
**GENERAL GROWTH PROPERTIES**  
10440 LITTLE PATUXENT PARKWAY, SUITE 1000  
COLUMBIA, MARYLAND 21044  
410-992-6000

EXTERIOR LIGHTING PHOTOMETRIC PLAN  
**THE MALL IN COLUMBIA**  
COLUMBIA TOWN CENTER  
TAX MAP: 30, 36 LOT: 47 PARCEL: 460  
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
SHEET 42 OF 95

C.E.I. PROJECT NUMBER  
28141.02  
SCALE:  
1"=20'

THE MALL IN COLUMBIA COLUMBIA, MARYLAND		TLP PROJECT NUMBER: 11082.00					
SCHEDULE OF LIGHTING FIXTURES							
TYPE	MTG.	DESCRIPTION	LAMPING	LOAD (VA)	VOLTS	MANUFACTURER	CATALOG NUMBER
D1	WALL	METAL HALIDE UP/DOWN SCIENCE, NOMINAL 6-1/2 INCH WIDE X 5 INCH DEEP X 12 INCH HIGH CAST ALUMINUM HOUSING WITH OVERALL 8 INCH DEEP PROJECTION, CLEAR TEMPERED GLASS LENS ON TOP AND CLEAR APERTURES, FIELD ADJUSTABLE 12-24 REFLECTOR, INTEGRAL ELECTRONIC BALLAST. FINISH SHALL BE SELECTED BY DESIGN PROFESSIONAL. U.L. WET LOCATION LABEL. REFER TO ARCHITECTURAL ELEVATIONS FOR MOUNTING HEIGHTS.	1 CM35/16/830	45		DESIGN PLAN ERCO	DUI-9-TB-P-99-0-(VOLT)-T-0
D2	WALL	DECORATIVE FLUORESCENT SCIENCE, NOMINAL 3 INCH WIDE X 24 INCH HIGH X MAXIMUM 4 INCH DEEP ALUMINUM HOUSING WITH WRAPPING OPAL ACRYLIC LENS AND SLOTTED DECORATIVE METAL TRIM DETAIL, INTEGRAL ELECTRONIC BALLAST. OVERALL FINISH SHALL BE SELECTED BY DESIGN PROFESSIONAL. U.L. WET LOCATION LABEL. REFER TO ARCHITECTURAL ELEVATIONS FOR MOUNTING HEIGHTS. CONTRACTOR SHALL MOUNT SCIENCE TO A NOMINAL 2 INCH WIDE SINGLE GANG SWITCH BOX PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.	1 FP14/830/ECO	17		ORIGINAL CAST LIGHTING	VP1-010A-24-GW-PID(FINISH)-1LF14-(VOLT)
L2	ROOF LINE	PARAPET-MOUNTED METAL HALIDE ADJUSTABLE ACCENT LUMINAIRE, NOMINAL 5 INCH DIAMETER X 11 INCH LONG MACHINED ALUMINUM HOUSING WITH REGRESSED CLEAR GLASS LENS AND WEEP HOLE. PROVIDE SPREAD LENS ACCESSORY. HOUSING MOUNTS TO BALLAST ENCLOSURE WITH ADJUSTABLE LOCKING KNUCKLE ASSEMBLY. NOMINAL 14 INCH LONG MACHINED ALUMINUM STEM PROVIDES EXTENSION OVER PARAPET AND HAVE 180° LOCKING SWIVEL TO ALLOW RE-LAMPING FROM ROOF. WEATHER-TIGHT BALLAST ENCLOSURE IS NOMINAL 7-1/2 INCH HIGH X 5 INCH WIDE X 3 INCH DEEP MACHINED ALUMINUM HOUSING WITH INTEGRAL ELECTRONIC BALLAST AND ACCEPTS DIRECT CONDUIT FEED. CONTRACTOR SHALL MOUNT ENCLOSURE ON BACK SIDE OF PARAPET. REFER TO ELECTRICAL DRAWINGS FOR MOUNTING DETAIL. OVERALL FINISH SHALL BE SELECTED BY DESIGN PROFESSIONAL. U.L. WET LOCATION LABEL.	1 CM70/PAR30L/M/SP/3K/ALTO	79		BK LIGHTING WINONA LIGHTING	CUS-1914-26-(FINISH)-(VOLT)
L3	CATENARY	CATENARY-MOUNTED METAL HALIDE PENDANT LUMINAIRE MOUNTED TO CONTRACTOR-SUPPLIED AND INSTALLED STAINLESS STEEL CABLE SYSTEM, NOMINAL 19 INCH DIAMETER X 16 INCH HIGH HOUSING WITH IMPACT-RESISTANT OPAL WHITE ACRYLIC DIFFUSER, SEGMENTED ALUMINUM REFLECTOR WITH I.E.S. TYPE V SQUARE OPTICAL DISTRIBUTION, HINGED SILK SCREENED BOTTOM LENS WITH SAFETY CABLE. OVERALL PAINT FINISH SHALL BE SELECTED BY DESIGN PROFESSIONAL. U.L. WET LOCATION LABEL. LUMINAIRE INCLUDES NOMINAL 9 INCH TALL X 8 INCH WIDE DIE-CAST ALUMINUM CABLE COMPARTMENT FOR MOUNTING TO STAINLESS STEEL CABLE SUSPENSION SYSTEM. CONTRACTOR SHALL PROVIDE MINIMUM 1/4 INCH DIAMETER STAINLESS STEEL SPAN WIRE AND HARDWARE AS REQUIRED FOR CONNECTION TO BUILDING FACES. ELECTRICAL POWER FEED SHALL BE BLACK. REFER TO ARCHITECTURAL ELEVATIONS FOR MOUNTING HEIGHTS OF ALL BUILDING CONNECTIONS. CONTRACTOR SHALL INSTALL AIRCRAFT CABLE AND LUMINAIRE WITH A NOMINAL 12 INCHES OF VERTICAL DEFLECTION/SWAG FROM MOUNTING POINTS. CONTRACTOR SHALL COORDINATE FINAL MOUNTING POSITIONS WITH THE DESIGN PROFESSIONAL IN THE FIELD. STRUCTURAL ENGINEER SHALL REVIEW AND APPROVE ALL CABLE MOUNTING ATTACHMENTS TO BUILDING EXTERIOR. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR ALL REQUIREMENTS FOR MOUNTING OF STAINLESS STEEL SUSPENSION CABLE.	1 MHC70/U/M/3K/ALTO	79		LOUIS POULSEN	LPI-MIN-P-1/70W/MH/ED17-120/277-(FINISH)-TSSQ-OPAL
L4	GRND	GROUND-MOUNTED L.E.D. ADJUSTABLE ACCENT UPLIGHT LUMINAIRE, NOMINAL 2-1/4 INCH DIAMETER X 4 INCH LONG MACHINED ALUMINUM HOUSING WITH FLUSH CLEAR GLASS LENS, PROVIDE HONEYCOMB LOUVER ACCESSORY, 3000K WHITE LED LIGHT ENGINE PROVIDES A MINIMUM 250 INTAL DELIVERED LUMENS IN A 35° MEDIUM FLOOD DISTRIBUTION. HOUSING MOUNTS TO GROUND STAKE ACCESSORY WITH ADJUSTABLE LOCKING KNUCKLE THAT PROVIDES 360° ROTATION AND 180° TILT. PROVIDE NOMINAL 1 INCH DIAMETER X 7 INCH LONG PVC GROUND STAKE. OVERALL FINISH SHALL BE SELECTED BY DESIGN PROFESSIONAL. U.L. WET LOCATION LABEL. LUMINAIRE CONNECTS TO REMOTE POWER SUPPLY; REFER TO LAP FOR SPECIFICATION OF POWER. REFER TO DETAILS IN ELECTRICAL DRAWINGS FOR MOUNTING INFORMATION.	- LEDs BY MANUFACTURER	10		BK LIGHTING WINONA LIGHTING LUMIERE	NS-LED-e22-MFL-A8-(FINISH)-11-360SL+SK

THE MALL IN COLUMBIA COLUMBIA, MARYLAND		TLP PROJECT NUMBER: 11082.00					
SCHEDULE OF LIGHTING FIXTURES							
TYPE	MTG.	DESCRIPTION	LAMPING	LOAD (VA)	VOLTS	MANUFACTURER	CATALOG NUMBER
L4A	TREE	SIMILAR TO TYPE L4, EXCEPT FOR MOUNTING ACCESSORY. PROVIDE TREE STRAP MOUNTING, STRAP SHALL BE 1 INCH WIDE OLIVE GREEN NYLON WITH LENGTH AS REQUIRED FOR TREE CALIPER. STRAP INCLUDES LOW-PROFILE MACHINED ALUMINUM THREADED CAP FOR CONNECTION OF LUMINAIRE AND LOW-VOLTAGE WIRING. OVERALL FINISH SHALL BE SELECTED BY DESIGN PROFESSIONAL. U.L. WET LOCATION LABEL. CONTRACTOR SHALL COORDINATE MOUNTING LOCATIONS OF ALL TREE LIGHTS WITH DESIGN PROFESSIONAL IN THE FIELD. ALL LOW-VOLTAGE WIRING SHALL BE RUN DISCREETLY AND JACKETING SHALL MATCH TREE. LUMINAIRE CONNECTS TO REMOTE POWER SUPPLY; REFER TO LAP FOR SPECIFICATION OF POWER. REFER TO DETAILS IN ELECTRICAL DRAWINGS FOR MOUNTING INFORMATION.	- LEDs BY MANUFACTURER	10		BK LIGHTING WINONA LIGHTING LUMIERE	NS-LED-e22-MFL-A8-(FINISH)-11-360SL+TMC-(FINISH)-(LENGTH)
L5	GRND	METAL HALIDE GROUND-MOUNTED ADJUSTABLE ACCENT UPLIGHT LUMINAIRE, NOMINAL 4 INCH DIAMETER X 8-1/2 INCH LONG MACHINED ALUMINUM HOUSING WITH WALL WASH OPTICS AND "CUT-OFF" VISOR, CLEAR GLASS LENS, HOUSING MOUNTS TO BALLAST ENCLOSURE WITH ADJUSTABLE LOCKING KNUCKLE. WEATHER-TIGHT BALLAST ENCLOSURE IS NOMINAL 9-3/4 INCH TALL X 3-1/4 INCH DIAMETER MACHINED ALUMINUM HOUSING WITH ELECTRONIC BALLAST. ENCLOSURE IS GROUND-MOUNTED WITH NOMINAL 18 INCH LONG X 3-1/4 INCH DIAMETER RECESSED PVC POWERPIPE STAKE. OVERALL FINISH SHALL BE SELECTED BY DESIGN PROFESSIONAL. U.L. WET LOCATION LABEL.	1 CM35/16/830	45		BK LIGHTING WINONA LIGHTING LUMIERE	YO-WW-0-(FINISH)-9-0V+PPI-35-E
L6	SURF	METAL HALIDE COLUMN-MOUNTED LUMINAIRE MOUNTED IN THE DOWNLIGHT POSITION, NOMINAL 3 INCH DIAMETER X 7 INCH LONG HOUSING MOUNTED TO ALUMINUM BALLAST ENCLOSURE. REGRESSED CLEAR GLASS LENS WITH HONEYCOMB BAFFLE ACCESSORY. WEATHER-TIGHT BALLAST ENCLOSURE IS NOMINAL 8 INCH TALL X 3-1/2 INCH DIAMETER MACHINED ALUMINUM HOUSING WITH ELECTRONIC BALLAST AND ACCEPTS DIRECT CONDUIT FEED. OVERALL FINISH SHALL BE SELECTED BY DESIGN PROFESSIONAL. REFER TO ARCHITECTURAL ELEVATIONS FOR MOUNTING HEIGHT. U.L. WET LOCATION LABEL.	1 CM35/PAR20/M/SP/3K/ALTO	45		BK LIGHTING WINONA LIGHTING LUMIERE	CUS-1908-81-35WCMH-(FINISH)
L8	PIPE	METAL HALIDE STRUCTURE-MOUNTED FLOOD LIGHT, NOMINAL 6 INCH DIAMETER X 9-1/2 INCH TALL X 8 INCH DEEP ALUMINUM HOUSING, FULLY-GASKETED LAMP ENCLOSURE WITH CLEAR TEMPERED GLASS LENS, 20° OPTICAL REFLECTOR WITH WIDE BEAM SPREAD LENS, TAPERED GLARE SHIELD, INTEGRAL ELECTRONIC BALLAST. NOMINAL 1/2 INCH STAINLESS STEEL NIPPLE ACCEPTS DIRECT ELECTRICAL FEED. OVERALL FINISH SHALL BE SELECTED BY DESIGN PROFESSIONAL. U.L. WET LOCATION LABEL. REFER TO DETAILS IN ELECTRICAL DRAWINGS FOR MOUNTING INFORMATION. ELECTRICAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS FOR APPLICATION OF SPECIFIED TUBE CLAMP ACCESSORY TO CONFIRM COMPATIBILITY.	1 CM35/TC/830	45		BEGA WE-EF ERCO	8412MH-265-316-(FINISH)+280
M8	WALL	COMPACT FLUORESCENT TRAPEZOIDAL WALL-MOUNTED FULL-OUTLET LUMINAIRE, NOMINAL 16 INCH WIDE X 9 INCH DEEP X 7 INCH TALL CAST ALUMINUM HOUSING, FULLY-GASKETED ASSEMBLY WITH TEMPERED GLASS LENS WITH SOLITE DIFFUSING OPTION, MEDIUM THROW OPTICS. INTEGRAL 2-LAMP ELECTRONIC BALLAST. OVERALL FINISH SHALL BE SELECTED BY DESIGN PROFESSIONAL. U.L. WET LOCATION LABEL. REFER TO ARCHITECTURAL ELEVATIONS FOR MOUNTING HEIGHTS.	2 PL-C26W/830/4P/ALTO	54		GARCO McGRATH EDISON LITHONIA	101-MT-2260F-UNV-(FINISH)-SL
M10	GRND	GROUND-MOUNTED L.E.D. LIGHT BOLLARD, NOMINAL 8 INCH DIAMETER X 42 INCH HIGH EXTRUDED ALUMINUM HOUSING WITH DIE-CAST ALUMINUM GENTLY ROUNDED CAP, FLUSH CLEAR POLYCARBONATE LENS, 3000K WHITE LED LIGHT ENGINE PROVIDES A MINIMUM 600 INTAL DELIVERED LUMENS IN AN ASYMMETRIC DISTRIBUTION, INTEGRAL POWER SUPPLY WITH SURGE PROTECTION. OVERALL FINISH SHALL BE SELECTED BY DESIGN PROFESSIONAL. U.L. WET LOCATION LABEL. CONTRACTOR SHALL ORIENT BOLLARD TO ENSURE ASYMMETRIC LIGHT DISTRIBUTION ILLUMINATES SIDEWALK.	- LEDs BY MANUFACTURER	15		SELUX	NT-350L63700-35-(FINISH)-(VOLT)
P1	POLE	METAL HALIDE INDIRECT POST-TOP LUMINAIRE, NOMINAL 28 INCH HIGH X 28 INCH WIDE CAST ALUMINUM INDIRECT "SAIL" STYLE LUMINAIRE MOUNTED TO 15'-0" TALL ROUND TAPERED STEEL POLE, SPECULAR ALUMINUM REFLECTOR & DIFFUSE RIBBED SAILOR REFLECTOR SYSTEM, SAIL IS FIELD ADJUSTABLE TO 15°/30°/45°/60° INCREMENTS. OVERALL LUMINAIRE AND POLE HEIGHT IS NOMINAL 15 FEET. OVERALL CUSTOM BRONZE FINISH, DESIGN PROFESSIONAL SHALL PROVIDE RAL MATCH DURING SUBMITTAL REVIEW. U.L. WET LOCATION LABEL. ASSEMBLY SHALL BE ABLE TO WITHSTAND 90MPH WINDS WITH 1.3 GUST FACTOR.	1 COM150/16/830	161		HESS AMERICA	CM450-150MH-(VOLT)-A-13RT-CC-(FINISH)-N

- GENERAL NOTES:**
- ALL LIGHTING FIXTURES, LAMPS AND RELATED DEVICES FURNISHED UNDER THIS CONTRACT SHALL CARRY THE APPROVAL LABEL OF UL OR ETL FOR THE SPECIFIC APPLICATION IN WHICH THEY ARE USED.
  - THE STATEMENT "FINISH SHALL BE SELECTED BY DESIGN PROFESSIONAL" SHALL BE INTERPRETED TO MEAN THAT THE FINISH OF THE LUMINAIRE SHALL MATCH THE APPEARANCE OF A PAINT CHIP, COLOR NUMBER, OR METAL SWATCH FURNISHED BY THE DESIGN PROFESSIONAL DURING THE SUBMITTAL REVIEW PROCESS.
  - UNLESS OTHERWISE INDICATED, ALL FLUORESCENT BALLASTS SHALL BE ELECTRONIC TYPE. ELECTRONIC BALLASTS FOR STRAIGHT AND U-BENT LAMPS SHALL BE PROGRAMMED START TYPE. ELECTRONIC BALLASTS FOR COMPACT FLUORESCENT LAMPS (TWIN TUBE, TRIPLE TUBE, AND QUAD TUBE) SHALL BE EQUIPPED WITH A PROTECTIVE SHUT DOWN CIRCUIT TO SHUT OFF THE BALLAST WHEN THE LAMP IS APPROACHING FAILURE. UNLESS OTHERWISE NOTED, FLUORESCENT AND COMPACT FLUORESCENT BALLASTS SHALL BE MANUFACTURED BY ADVANCE, UNIVERSAL LIGHTING TECHNOLOGIES, OSRAM SYLVANIA, OR GENERAL ELECTRIC. UNLESS OTHERWISE NOTED, FLUORESCENT LAMP DIMMING BALLASTS SHALL BE LUTRON HI-LUME SERIES. UNLESS OTHERWISE NOTED, HIGH WATTAGE H.I.D. LAMP BALLASTS SHALL BE CWA TYPE; LOW WATTAGE H.I.D. LAMP BALLASTS SHALL BE ELECTRONIC TYPE.
  - WHITE L.E.D.'S SHALL MEET, AT A MINIMUM, CHROMATICITY STANDARDS SET BY ANSI/NIEMA/ANSI/C79.377-2008. L.E.D. LUMEN MAINTENANCE SHALL BE MEASURED IN ACCORDANCE WITH IESNA LM-80 STANDARDS. PHOTOMETRIC TESTING FOR SOLID STATE LUMINAIRES SHALL BE IN ACCORDANCE WITH IESNA LM-79 STANDARDS.
  - UNLESS OTHERWISE NOTED, LAMP DESIGNATIONS ARE FOR LAMPS BY PHILIPS LIGHTING COMPANY. LAMPS OF EQUIVALENT CHARACTERISTICS WITH EQUAL OR BETTER PERFORMANCE FROM GENERAL ELECTRIC, OSRAM/SYLVANIA AND VENTURE LIGHTING ARE ACCEPTABLE ALTERNATIVES.
  - CONTRACTOR SHALL CONFIRM FIXTURE VOLTAGES, CEILING TRIMS, AND MOUNTING HARDWARE ARE COMPATIBLE WITH THEIR APPLICATION AS DETERMINED BY THE DESIGN PROFESSIONAL PRIOR TO ORDERING FIXTURES.
  - CONTRACTOR SHALL SELECT, FURNISH AND INSTALL THE CORRECT SIZE OF SECONDARY WIRING FROM REMOTE TRANSFORMERS AND/OR REMOTE BALLASTS AS REQUIRED TO KEEP VOLTAGE DROP IN THE SECONDARY WIRING BELOW 3% OF RATED VOLTAGE.
  - ALL DIMMABLE FLUORESCENT, CERAMIC METAL HALIDE, AND L.E.D. LAMPS SHALL BE BURNED CONTINUOUSLY FOR 100 HOURS PRIOR TO FOCUSING OF FIXTURES AND COMMISSIONING OF CONTROL SYSTEMS.
  - CONTRACTOR SHALL PROVIDE LABOR AND EQUIPMENT FOR FOCUSING OF ADJUSTABLE FIXTURES AND PRESETTING OF LIGHTING CONTROL SYSTEMS. FOCUSING AND PRESETTING SHALL BE DONE IN THE PRESENCE OF THE DESIGN PROFESSIONAL. CONTRACTOR SHALL FOCUS LIGHTING AFTER DARK IF DIRECTED BY THE OWNER'S REPRESENTATIVE. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL PROVIDE AT LEAST ONE DAY OF A FACTORY-TRAINED AND CERTIFIED TECHNICIAN TO PROVIDE WARRANTY START UP AND PROGRAMMING FOR ALL LIGHTING CONTROL SYSTEMS AND PROGRAMMABLE LIGHTING FIXTURES.
  - CONTRACTOR SHALL PROVIDE THE FOLLOWING WITH THEIR BID:
    - THE UNIT PRICE, WITHOUT LAMP, FOR EACH LIGHTING FIXTURE TYPE LISTED WITHIN THE LIGHTING FIXTURE SCHEDULE. THE UNIT PRICE SHALL BE FOR ONE OF THE LISTED MANUFACTURERS FOR THAT PARTICULAR FIXTURE. THE MANUFACTURER SHALL BE IDENTIFIED. SUBSTITUTIONS FOR FIXTURES PROVIDED BY MANUFACTURERS NOT LISTED IN THE SCHEDULE ARE NOT ACCEPTABLE. SEE BELOW FOR REQUIREMENTS ASSOCIATED WITH SUBMITTING LIGHTING FIXTURE SUBSTITUTIONS.
    - THE TOTAL QUANTITY OF EACH FIXTURE TYPE WITHIN THE EXTENDED COST FOR THAT QUANTITY.
    - THE UNIT PRICE, TYPE, AND QUANTITY OF LAMPS.
  - WITHIN 21 DAYS OF CONTRACT AWARD, THE CONTRACTOR SHALL FURNISH SUBMITTALS FOR ALL SPECIFIED LIGHTING FIXTURES FOR REVIEW BY THE DESIGN PROFESSIONAL. THE SUBMITTALS SHALL INCLUDE LUMINAIRE CATALOG CUTS, SUBMITTAL SHEETS, OR MANUFACTURERS SHOP DRAWINGS INDICATING THE FOLLOWING:
    - MANUFACTURER'S NAME AND COMPLETE CATALOG NUMBER
    - FIXTURE TYPE, DIMENSIONS AND FINISHES
    - FIXTURE PHOTOMETRIC TEST DATA FROM AN INDEPENDENT TEST LABORATORY
    - FIXTURE ACCESSORIES, COMPONENTS, AND HARDWARE WHEN SPECIFIED
    - LAMP TYPE, QUANTITY, WATTAGE, LUMEN OUTPUT, RATED LIFE, COLOR TEMPERATURE, COLOR RENDERING INDEX AND BEAM SPREAD AS APPLICABLE
    - BALLAST TYPE AND FIXTURE VOLTAGE
  - SUBMITTALS FOR LIGHTING FIXTURES MOUNTED WITHIN ARCHITECTURAL COVES OR CASEWORK, VARIABLE LENGTH FIXTURES, AND FOR NON-STANDARD, OR CUSTOM FIXTURES, SHALL ALSO INCLUDE SCALED DRAWINGS SHOWING THE LAYOUT AND DIMENSIONS OF ALL FIXTURE COMPONENTS AND ACCESSORIES, THE METHOD OF INSTALLATION, AND A COMPLETE BILL OF MATERIALS.
  - LIGHTING FIXTURE SUBSTITUTION REQUESTS MUST BE SENT TO AND RECEIVED BY THE LIGHTING DESIGNER FOR REVIEW 14 DAYS PRIOR TO BID DATE. FAILURE TO SUBMIT WITHIN THIS DEADLINE SHALL CONSTITUTE A GUARANTEE THAT THE SPECIFIED FIXTURES WILL BE SUPPLIED. THE SUBMITTAL SHALL INCLUDE THE FOLLOWING:
    - SIX HARD COPIES OF THE SUBMITTALS REQUIRED ABOVE FOR BOTH THE SPECIFIED FIXTURE AND THE PROPOSED SUBSTITUTION.
    - ONE NON-RETURNABLE WORKING SAMPLE OF THE PROPOSED SUBSTITUTE FIXTURE WITH CORD & PLUG CONNECTION FOR 120 VOLT OPERATION, AND SPECIFIED LAMP(S).
    - CONTRACTOR'S STATEMENT INDICATING THE EFFECT OF THE SUBSTITUTION ON THE CONSTRUCTION SCHEDULE COMPARED TO THE SCHEDULE WITHOUT THE APPROVAL OF THE PROPOSED SUBSTITUTION.
    - CONTRACTOR'S CERTIFICATION STATING THAT THE PROPOSED SUBSTITUTION CONFORMS TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS IN EVERY RESPECT AND IS APPROPRIATE FOR THE APPLICATIONS INDICATED IN THE DOCUMENTS.
    - CONTRACTOR'S CERTIFICATION STATING THAT ANY MODIFICATIONS TO ANY BUILDING SYSTEM OR EQUIPMENT THAT MAY RESULT FROM THE PROPOSED LIGHTING FIXTURE SUBSTITUTION WILL BE DESIGNED AND CONSTRUCTED AT THE CONTRACTOR'S EXPENSE.
    - CONTRACTOR'S WAIVER OF RIGHTS TO ADDITIONAL PAYMENT OR TIME THAT MAY BECOME NECESSARY SHOULD THE PROPOSED SUBSTITUTION FAIL TO PERFORM IN A MANNER THAT MATCHES THE SPECIFIED FIXTURE.
    - CONTRACTOR-NET UNIT PRICE FOR THE SPECIFIED FIXTURE AND FOR THE PROPOSED SUBSTITUTE FIXTURE.
- THE LIGHTING DESIGNER SHALL BE REIMBURSED BY THE CONTRACTOR FOR ALL OF THE DESIGNER'S TIME ASSOCIATED WITH THE REVIEW OF THE PROPOSED FIXTURE SUBSTITUTION(S). PAYMENT SHALL BE MADE IN ADVANCE OF THE REVIEW, BASED ON THE DESIGNER'S ESTIMATE OF THE REQUIRED TIME. THE PAYMENT SHALL BE BASED ON THE DESIGNER'S STANDARD HOURLY RATES FOR THE PERSONNEL INVOLVED IN THE REVIEW.

SEE SHEETS 65-06 FOR DETAILS

THIS DESIGN IS IN COMPLIANCE WITH "THE MALL NEIGHBORHOOD DESIGN GUIDELINES" OF DOWNTOWN COLUMBIA (ver. 4/11/2012)

AS-BUILT CERTIFICATION FOR PSWM  
Note: There is no "AS-Built" information provided on this sheet.

AS-BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Chief, Development Engineering Division  
 Chief, Division of Land Development  
 Director

Date: 1/31/13  
 Date: 4-09-13  
 Date: 9/11/13

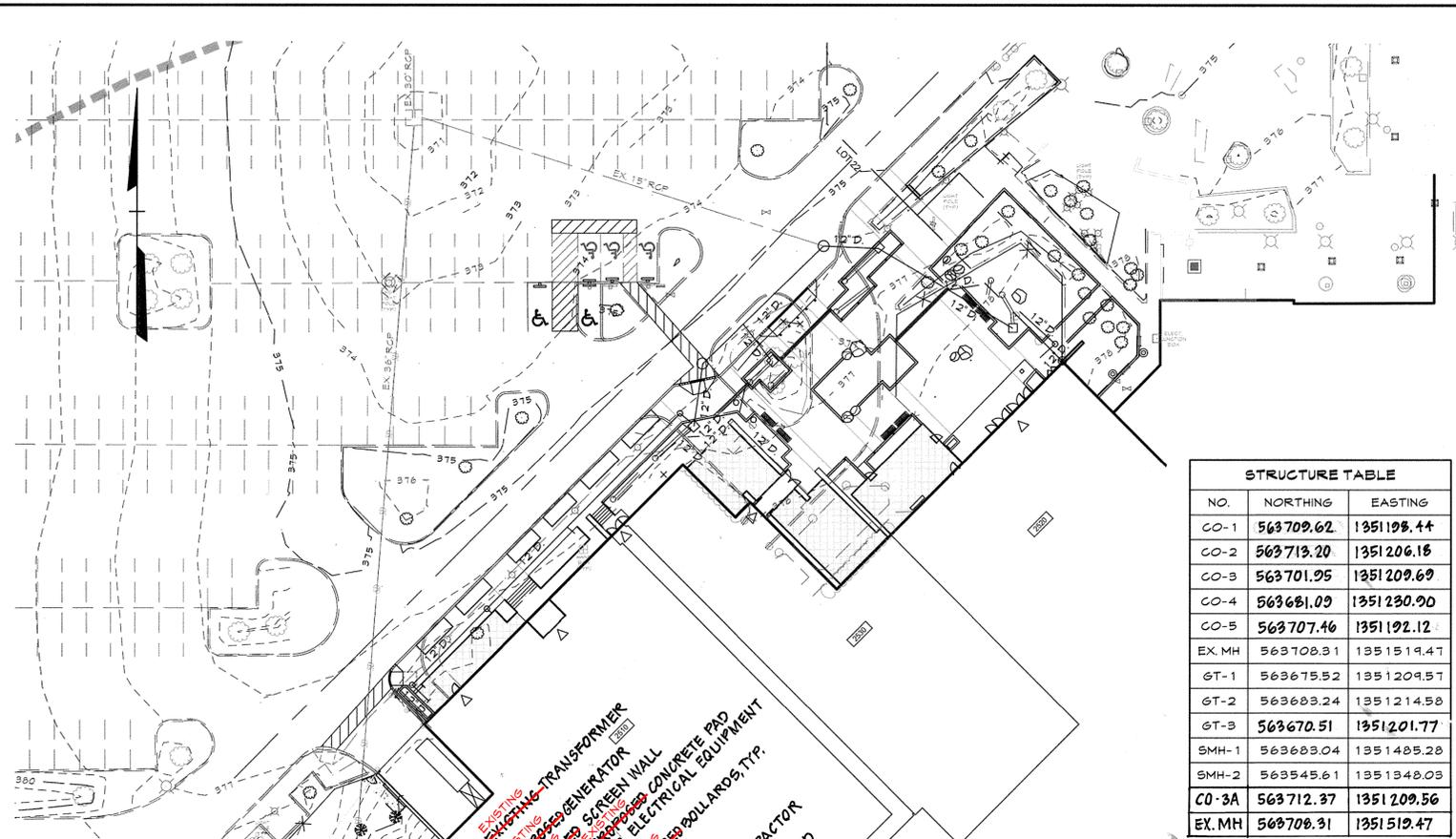
**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY:	CEI 3	AS BUILT	9-5-16
M.J.P.	CEI	Revisions to exterior lighting fixture schedule	
DRAWN BY:			
M.S.S.			
CHECKED BY:			
DATE:			
BY	NO.	REVISION	DATE

DEVELOPER  
**GENERAL GROWTH PROPERTIES**  
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000  
 COLUMBIA, MARYLAND 21044  
 410-992-6000

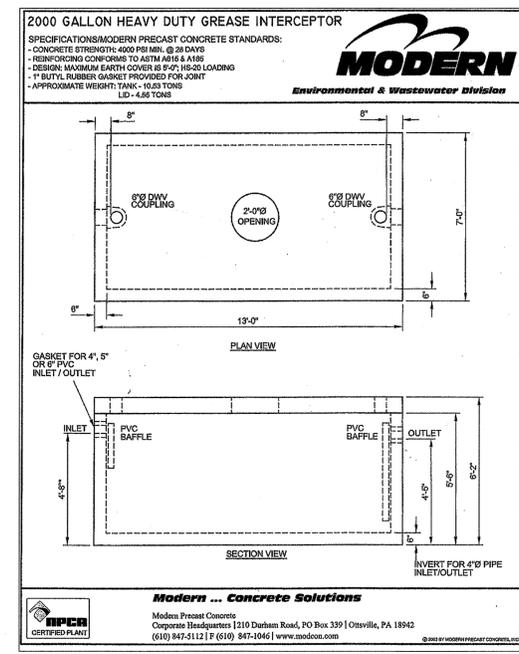
EXTERIOR LIGHTING FIXTURE SCHEDULE  
**THE MALL IN COLUMBIA**  
 COLUMBIA TOWN CENTER  
 TAX MAP: 30, 36 LOT: 47 PARCEL: 460  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
 SHEET 43 OF 95

C.E.I. PROJECT NUMBER  
 28141.02  
 SCALE:  
 NO SCALE



NO.	NORTHING	EASTING
CO-1	563709.62	1351198.44
CO-2	563713.20	1351206.18
CO-3	563701.95	1351209.69
CO-4	563681.09	1351230.90
CO-5	563707.46	1351192.12
EX. MH	563708.31	1351519.47
GT-1	563675.52	1351209.57
GT-2	563683.24	1351214.58
GT-3	563670.51	1351201.77
SMH-1	563683.04	1351485.28
SMH-2	563545.61	1351348.03
CO-3A	563712.37	1351209.56
EX. MH	563708.31	1351519.47

NO.	NORTHING	EASTING
SMH-3	563667.57	1351217.60
SMH-4	563687.09	1351198.00
SMH-5	563673.99	1351223.92
SMH-6	563691.27	1351206.40
SMH-7	563661.15	1351211.28
SMH-8	563680.46	1351191.65
STUB 1	563717.70	1351206.68
STUB 2	563715.52	1351208.45
STUB 3	563713.59	1351210.74
STUB 4	563719.33	1351204.41



**2000 GALLON HEAVY DUTY GREASE INTERCEPTOR**

**MODERN**  
Environmental & Wastewater Division

**Specifications/Modern Precast Concrete Standards:**

- CONCRETE STRENGTH: 4000 PSI MIN. @ 28 DAYS
- REINFORCING CONCRETE TO ASTM A-618 & A-185
- DESIGN MAXIMUM EARTH COVER IS 8'-0" HS-20 LOADING
- 1" BUTYL RUBBER GASKET PROVIDED FOR JOINT
- APPROXIMATE WEIGHT: TANK - 10.3 TONS LID - 4.85 TONS

**WEIGHTS:**  
TOP: 4.24 TONS (2.10 cu/yds)  
BASE: 6.56 TONS (3.24 cu/yds)  
BASE W/BAFFLE: 7.13 TONS (3.52 cu/yds)

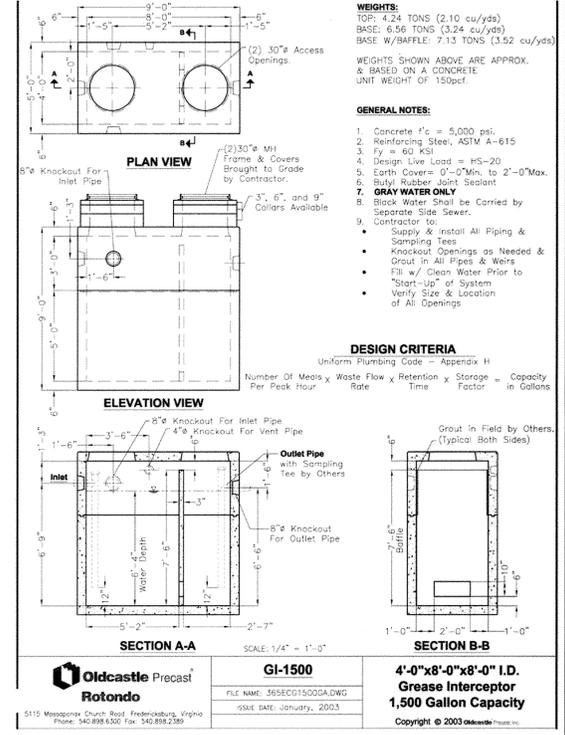
**WEIGHTS SHOWN ABOVE ARE APPROX. & BASED ON A CONCRETE UNIT WEIGHT OF 150pcf.**

**GENERAL NOTES:**

- Concrete f'c = 5,000 psi.
- Reinforcing Steel: ASTM A-615
- Fy = 60 KSI
- Design Live Load = HS-20
- Earth Covers 0'-0" Min. to 2'-0" Max.
- Butyl Rubber Joint Sealant
- GRAY WATER ONLY**
- Black Water Shall be Carried by Separate Side Sewer.
- Contractor to:
  - Supply & install All Piping & Sampling Tees
  - Knockout Openings as Needed & Grout in All Pipes & Weirs
  - Fill w/ Clean Water Prior to "Start-Up" of System
  - Verify Size & Location of All Openings

**DESIGN CRITERIA**  
Uniform Plumbing Code - Appendix H  
Number of Meals x Waste Flow x Retention x Storage = Capacity  
Per Peak Hour Rate Time Factor in Gallons

**Oldcastle Precast Rotondo GI-1500**  
4'-0"x8'-0"x8'-0" I.D. Grease Interceptor  
1,500 Gallon Capacity



**2000 GALLON HEAVY DUTY GREASE INTERCEPTOR**

**MODERN**  
Environmental & Wastewater Division

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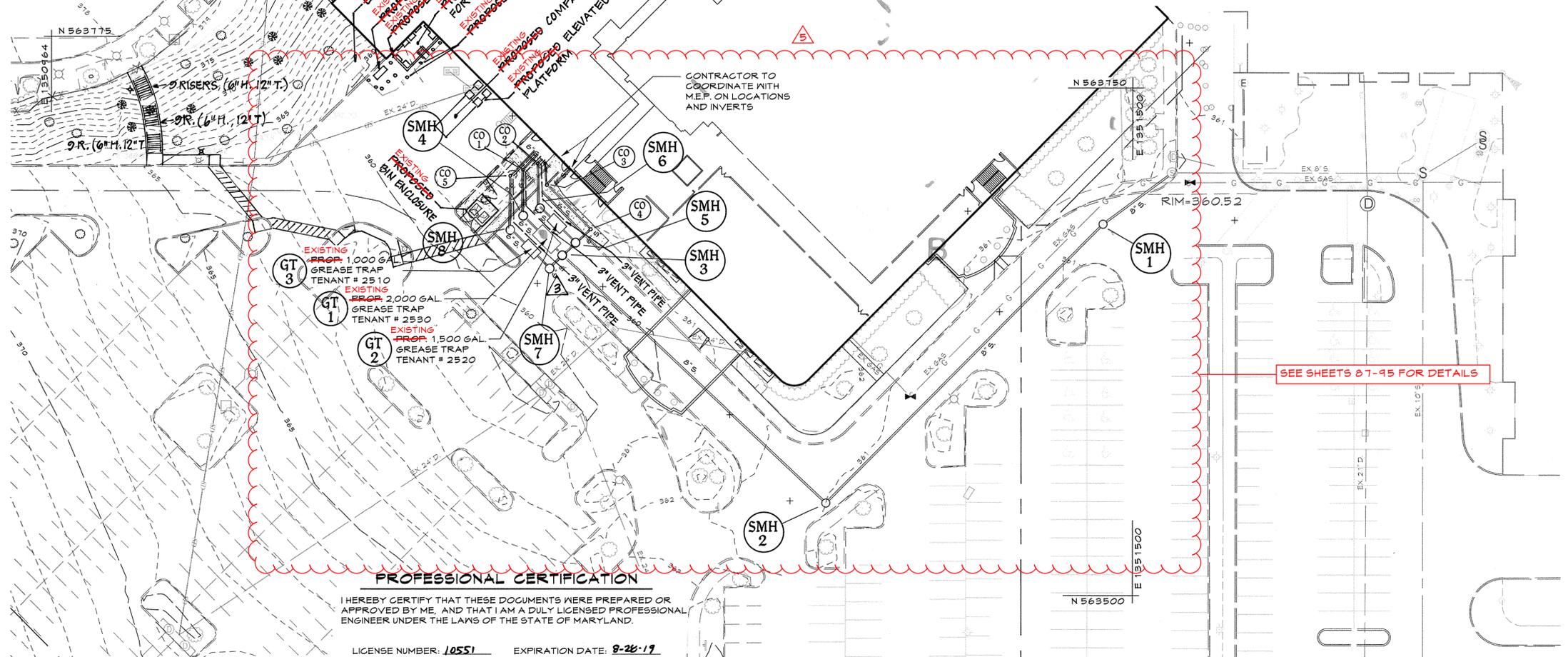
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**GENERAL NOTES:**

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- Butyl Rubber Joint Sealant
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  - Knockout Openings as Needed & Grout in All Pipes & Weirs
  - Fill w/ Clean Water Prior to "Start-Up" of System
  - Verify Size & Location of All Openings

**DESIGN CRITERIA**  
Uniform Plumbing Code - Appendix H  
Number of Meals x Waste Flow x Retention x Storage = Capacity  
Per Peak Hour Rate Time Factor in Gallons

**Oldcastle Precast Rotondo GI-1000**  
4'-0"x8'-0"x6'-0" I.D. Grease Interceptor  
1,000 Gallon Capacity



**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

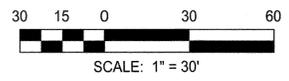
LICENSE NUMBER: 10551 EXPIRATION DATE: 8-28-19

SEE SHEETS 87-95 FOR DETAILS

**APPROVED PLANNING BOARD OF HOWARD COUNTY**

DATE: July 6, 2017

**AS-BUILT CERTIFICATION FOR PSWM**  
Note: There is no "AS-Built" information provided on this sheet.



APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division  
Date: 8-31-17

Chief, Division of Land Development  
Date: 9-5-17

Director  
Date: 9-5-17

**M CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY:	M.J.P.	CEI	Added storm drain/inlets, sanitary lines and grease trap	1-10-20
DRAWN BY:	M.S.S.	CEI	AS-BUILT	9-5-18
CHECKED BY:		CEI	ADDED VENT PIPES FROM GREASE INTERCEPTORS TO BUILDING	9.28.17
DATE:	8/4/17		REVISE LOCATIONS OF CO 1, 2, 3, 5 AND ADDED CO 3A	
			REVISE LOCATIONS OF MANHOLES 4, 5, 6	
BY	NO.	REVISION		DATE

**DEVELOPER**  
**GENERAL GROWTH PROPERTIES**  
10440 LITTLE PATUXENT PARKWAY, SUITE 1000  
COLUMBIA, MARYLAND 21044  
410-992-6000

**REVISED SITE DEVELOPMENT PLAN**  
**UTILITY PLAN - SANITARY SEWER**  
**THE MALL IN COLUMBIA**  
BUILDING EXPANSION COLUMBIA TOWN CENTER  
TAX MAP: 30.36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
SHEET 58 OF 95

C.E.I. PROJECT NUMBER: 28141.06  
SCALE: 1" = 30'

HOWARD SOIL CONSERVATION DISTRICT (HSCD)  
STANDARD SEDIMENT CONTROL NOTES

1. A pre-construction meeting must occur with the Howard County Department of Public Works, Construction Inspection Division (CID), 410-313-1855 after the future LOD and protected areas are marked clearly in the field. A minimum of 48 hour notice to CID must be given at the following stages:
  - a. Prior to the start of earth disturbance.
  - b. Upon completion of the installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading.
  - c. Prior to the start of another phase of construction or opening of another grading unit.
  - d. Prior to the removal or modification of sediment control practices.

Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made. Other related state and federal permits shall be referenced, to ensure coordination and to avoid conflicts with this plan.

2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.

3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization is required within three (3) calendar days as to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1) and seven (7) calendar days as to all other disturbed areas on the project site except for those areas under active grading.

4. All disturbed areas must be stabilized within the time period specified above in accordance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for topsoil (Sec. B-4-2), permanent seeding (Sec. B-4-5), temporary seeding (Sec. B-4-4) and mulching (Sec. B-4-3). Temporary stabilization with mulch alone can only be applied between the fall and spring seeding dates if the ground is frozen. Incremental stabilization (Sec. B-4-1) specifications shall be enforced in areas with >15' of cut and/or fill. Stockpiles (Sec. B-4-8) in excess of 20 ft. must be benched with stable outlet. All concentrated flow, steep slope, and highly erodible areas shall receive soil stabilization matting (Sec. B-4-6).

5. All sediment control structures are to remain in place, and are to be maintained in operative condition until permission for their removal has been obtained from the CID.

6. Site Analysis:

Total Area of Site:	62.34 Acres
Area Disturbed:	0.48 Acres
Area to be roofed or paved:	0.38 Acres
Area to be vegetatively stabilized:	0.10 Acres
Total Cut:	xx Cu. Yds.
Total Fill:	xx Cu. Yds.
Offsite waste/borrow area location:	N/A

7. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

8. Additional sediment control must be provided, if deemed necessary by the CID. The site and all controls shall be inspected by the contractor weekly, and the next day after each rain event. A written report by the contractor, made available upon request, is part of every inspection and should include:
  - Inspection date
  - Inspection type (routine, pre-storm event, during rain event)
  - Name and title of inspector
  - Weather information (current conditions as well as time and amount of last recorded precipitation)
  - Brief description of project's status (e.g., percent complete) and/or current activities
  - Evidence of sediment discharges
  - Identification of plan deficiencies
  - Identification of sediment controls that require maintenance
  - Identification of missing or improperly installed sediment controls
  - Compliance status regarding the sequence of construction and stabilization requirements
  - Photographs
  - Monitoring/sampling
  - Maintenance and/or corrective action performed
  - Other inspection items as required by the General Permit for Stormwater Associated with Construction Activities (NPDES, MOE).

9. Trenches for the construction of utilities is limited to three pipe lengths or that which can and shall be back-filled and stabilized by the end of each workday, whichever is shorter.

10. Any major changes or revisions to the plan or sequence of construction must be reviewed and approved by the HSCD prior to proceeding with construction. Minor revisions may be allowed by the CID per the list of HSCD-approved field changes.

11. Disturbance shall not occur outside the L.O.D. A project is to be sequenced so that grading activities begin on one grading unit (maximum acreage of 20 ac. per grading unit) at a time. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the HSCD. Unless otherwise specified and approved by the HSCD, no more than 30 acres cumulatively may be disturbed at a given time.

12. Wash water from any equipment, vehicles, wheels, pavement, and other sources must be treated in a sediment basin or other approved washout structure.

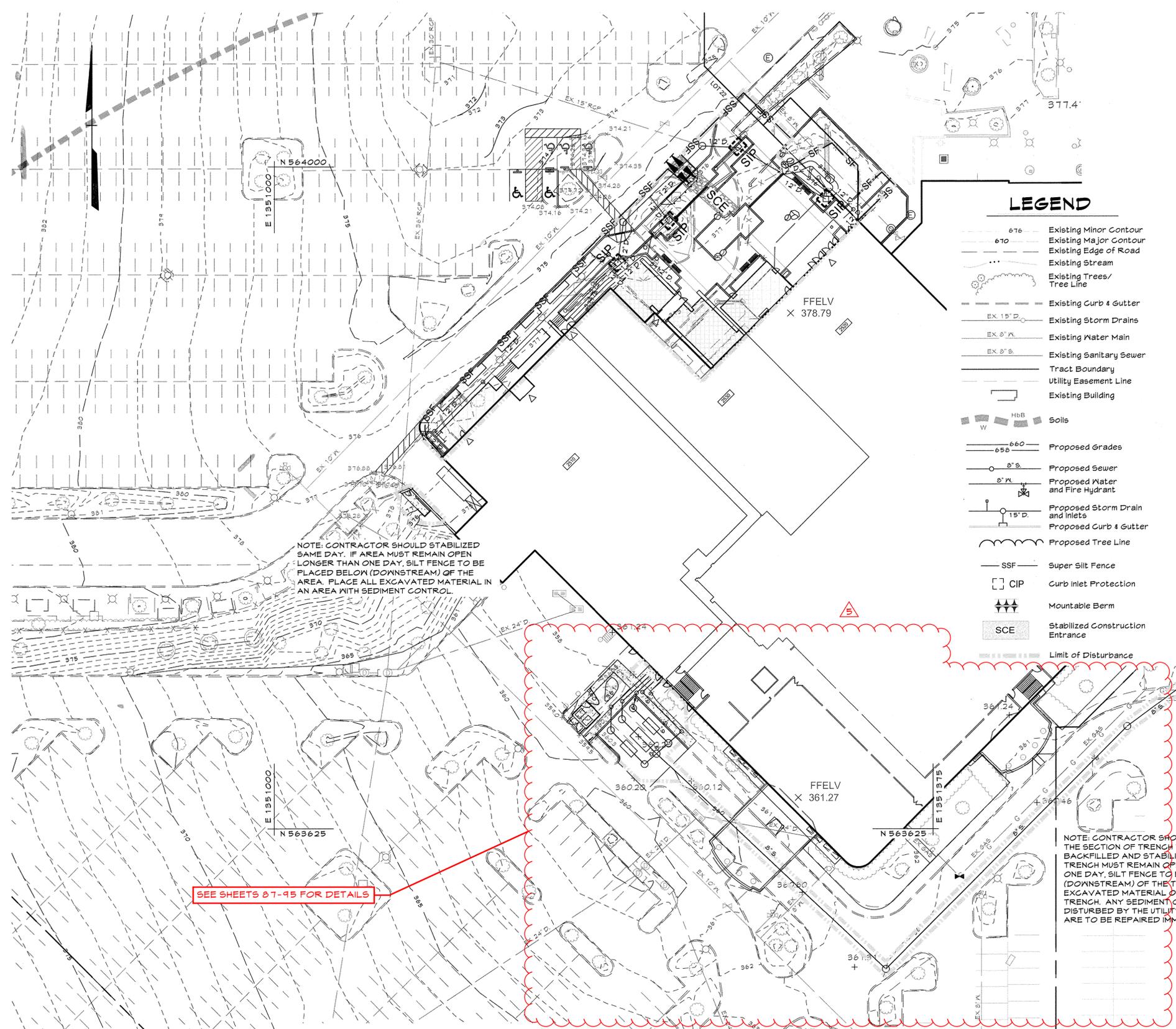
13. Topsoil shall be stockpiled and preserved on-site for redistribution onto final grade.

14. All Silt Fence and Super Silt Fence shall be placed on-the-contour, and be imbricated at 25' minimum intervals, with lower ends curled uphill by 2' in elevation.

15. Stream channels must not be disturbed during the following restricted time periods (inclusive):
  - Use I and IP March 1 - June 15
  - Use III and IIP October 1 - April 30
  - Use IV March 1 - May 31

16. A copy of this plan, the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and associated permits shall be on-site and available when the site is active.

Rev. 8 /2015



LEGEND

- 676 Existing Minor Contour
- 670 Existing Major Contour
- Existing Edge of Road
- Existing Stream
- Existing Trees/ Tree Line
- Existing Curb & Gutter
- Existing Storm Drains
- Existing Water Main
- Existing Sanitary Sewer
- Tract Boundary
- Utility Easement Line
- Existing Building
- HBB Soils
- Proposed Grades
- Proposed Sewer
- Proposed Water and Fire Hydrant
- Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- Proposed Tree Line
- SSF Super Silt Fence
- CIP Curb Inlet Protection
- Mountable Berm
- SCE Stabilized Construction Entrance
- Limit of Disturbance

NOTE: CONTRACTOR SHOULD STABILIZED SAME DAY. IF AREA MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE TO BE PLACED BELOW (DOWNSTREAM) OF THE AREA. PLACE ALL EXCAVATED MATERIAL IN AN AREA WITH SEDIMENT CONTROL.

NOTE: CONTRACTOR SHOULD OPEN ONLY THE SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE TO BE PLACED BELOW (DOWNSTREAM) OF THE TRENCH. PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH. ANY SEDIMENT CONTROL DEVICES DISTURBED BY THE UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

SEE SHEETS 87-95 FOR DETAILS

PROFESSIONAL CERTIFICATION

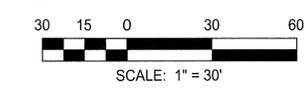
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 12557 EXPIRATION DATE: 6-2019

AS-BUILT CERTIFICATION FOR PSWM  
Note: There is no "AS-Built" information provided on this sheet.

APPROVED  
PLANNING BOARD  
of HOWARD COUNTY

DATE July 6, 2017



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Chief, Development Engineering Division  
Date 8-31-17  
Chief, Division of Land Development  
Date 9-5-17  
Director

**CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401

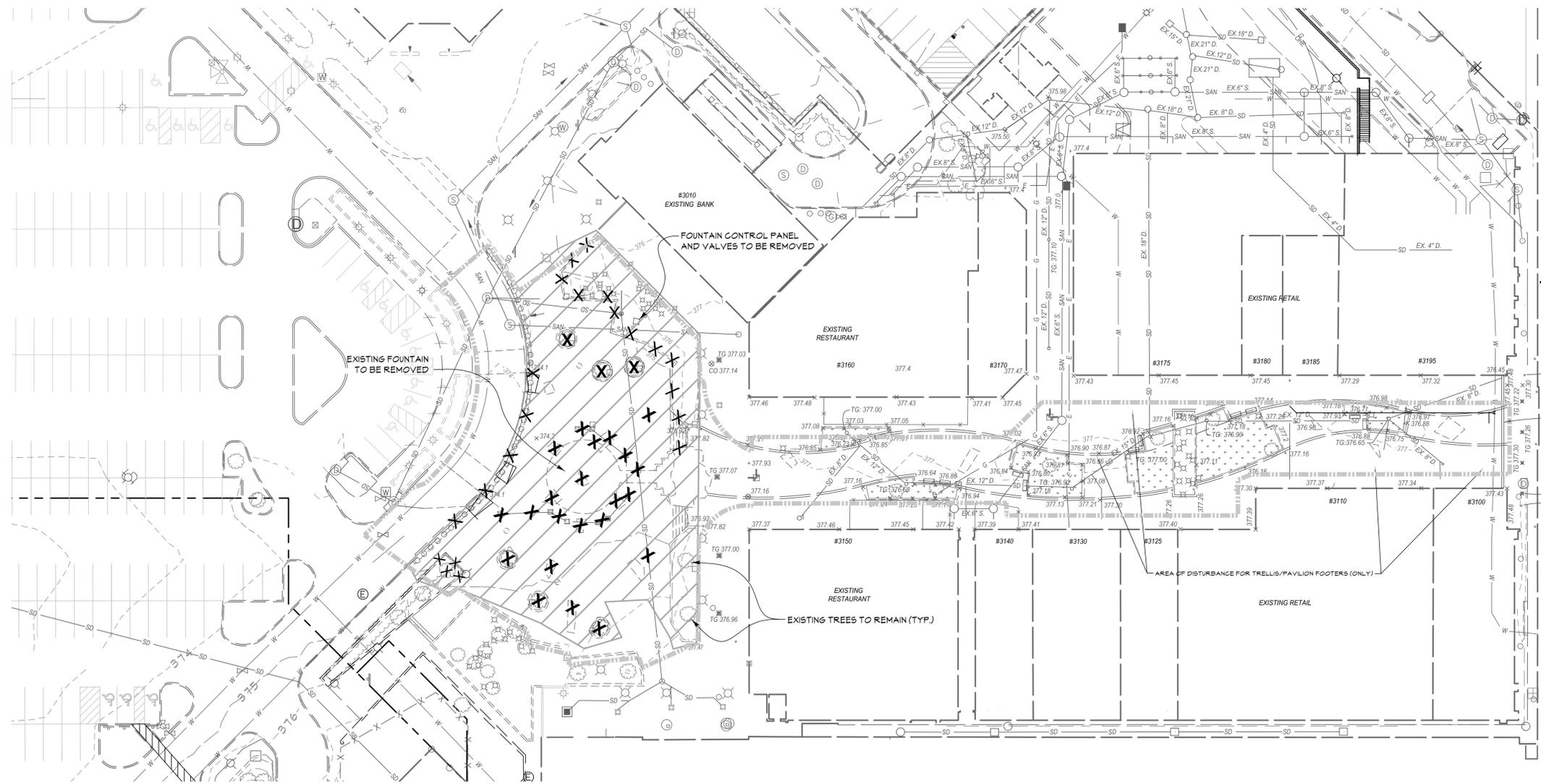


DESIGN BY: M.J.P.	CEI A	AS-BUILT	9-5-18
DRAWN BY: M.S.S.	CEI A	Revisions to ESC measures, demolition of existing canopies	1-10-20
CHECKED BY:			
DATE: 8/4/17	BY NO.	REVISION	DATE

DEVELOPER  
**GENERAL GROWTH PROPERTIES**  
10440 LITTLE PATUXENT PARKWAY, SUITE 1000  
COLUMBIA, MARYLAND 21044  
410-992-6000

REVISED SITE DEVELOPMENT PLAN  
EROSION & SEDIMENT CONTROL PLAN  
**THE MALL IN COLUMBIA**  
BUILDING EXPANSION COLUMBIA TOWN CENTER  
TAX MAP: 30, 36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
SHEET 61 OF 95

C.E.I. PROJECT NUMBER 28141.06  
SCALE: 1" = 30'



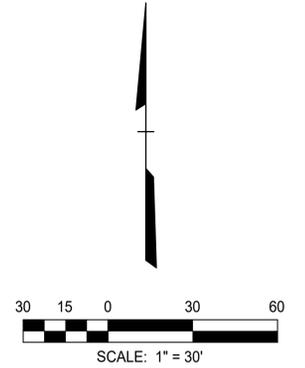
**PLAN**

SCALE: 1"=30'

**LEGEND**

- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Paving
- Existing Storm Drain and Inlet
- Existing Water and Fire Hydrant
- Existing Sewer
- Existing Curb and Gutter
- Existing Underground Electric
- Existing Overhead Electric
- Existing Fiber Optic
- Existing Cable Television
- Existing Gas and Valve
- Existing BGE Light Pole
- Existing Sign
- Existing Electric Structure
- Existing Fence Line
- Existing Retaining Wall
- Existing Tree Line
- Existing Drive
- Existing Building
- Existing Micro-Bioretentation Facilities
- Existing Trees to Remain
- Existing Trees to be Removed
- Existing Curb to be Removed
- Existing Utility to be Removed
- Existing Paving, Fountain, associated water lines and Stones to be removed
- Limit of Disturbance

- NOTES:**
- 1) PLANT MATERIAL TO BE REMOVED SHALL BE PROMPTLY DISPOSED OF OFF-SITE
  - 2) ROOT SYSTEMS (ACCESSIBLE WITHOUT REMOVING ADJACENT PAVING, PLANTING TO RETAIN CURBS, WALLS, PLANTING, ETC.) TO BE REMOVED INCLUDING STUMPS.
  - 3) SCULPTURE REMOVAL - SCULPTURES TO BE DISMANTLED / REMOVED AND STORED ON-SITE AT LOCATION DETERMINED BY OWNER.
  - 4) SCULPTURES TO BE RE-POSITIONED AT LOCATIONS DETERMINED BY OWNER WITHIN CONTRACT AREA.
  - 5) ART WORK WILL BE REPLACED ONCE PLAZA WORK IS COMPLETE. ANY REVISIONS TO THE ARTWORK PREVIOUSLY APPROVED WILL REQUIRE REPLACEMENT THAT IS EQUAL, OR EXCEEDS THE COST OF THE EXISTING PIECES.



**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10551 EXPIRATION DATE: 8-28-2021

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Chief, Development Engineering Division	Date _____
Chief, Division of Land Development	Date _____
Director	Date _____

**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY:	M.J.P.		
DRAWN BY:	M.S.S.		
CHECKED BY:			
DATE:			
BY	NO.	REVISION	DATE

**DEVELOPER**  
**BROOKFIELD PROPERTIES**  
 26300 CEDAR ROAD  
 BEECHWOOD, OHIO 44122  
 212-417-7000

**DEMOLITION PLAN**

**REVISED SITE DEVELOPMENT PLAN**  
**THE MALL IN COLUMBIA**

LIFESTYLE CENTER REFRESH  
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND

SHEET 65 OF 95

C.E.I. PROJECT NUMBER 28141.06

SCALE: \_\_\_\_\_

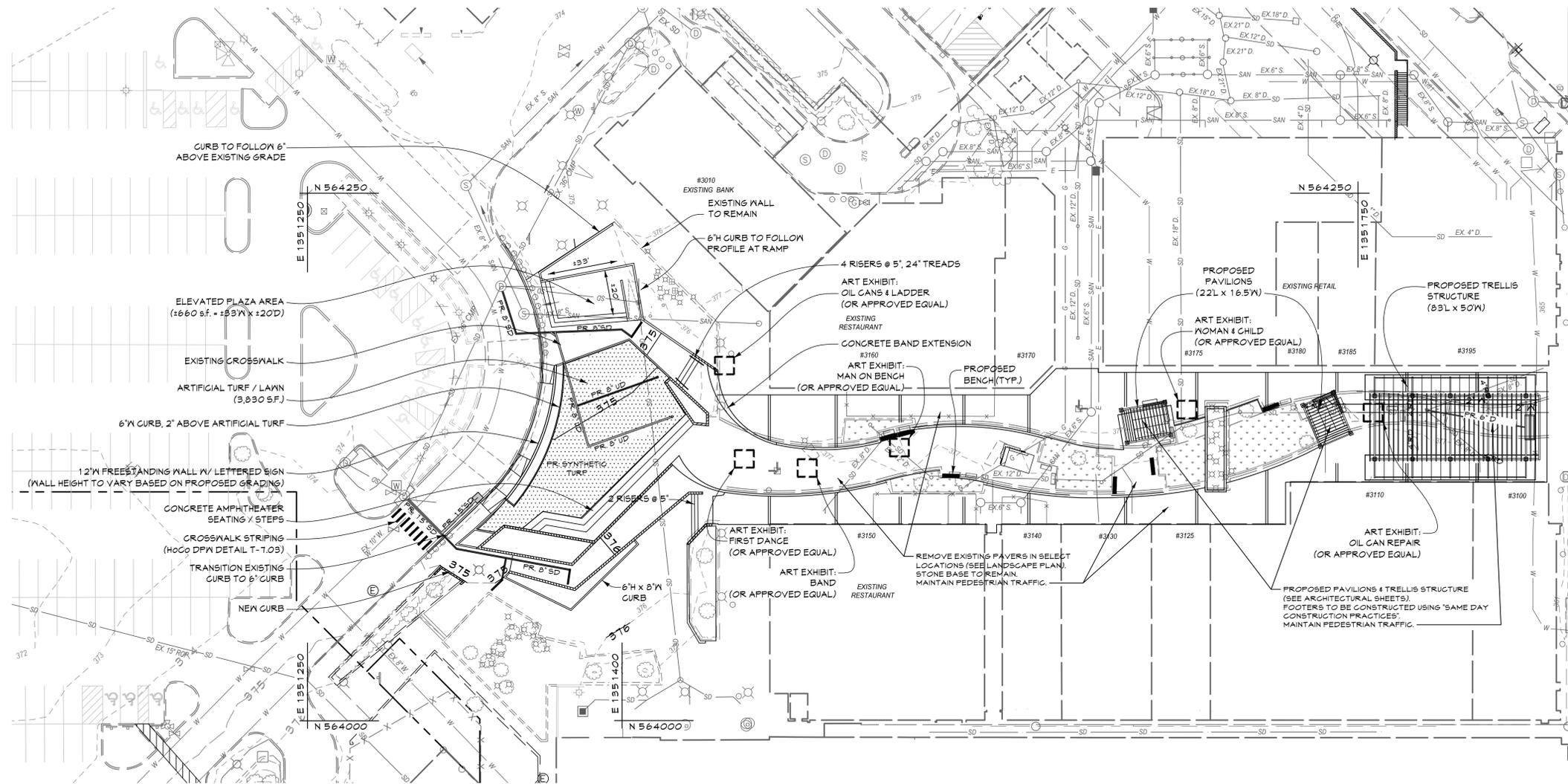
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**LEGEND**

- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Paving
- Soil Line
- SD Existing Storm Drain and Inlet
- W Existing Water and Fire Hydrant
- SAN Existing Sewer
- Existing Curb and Gutter
- E Existing Underground Electric
- OHE Existing Overhead Electric
- FO Existing Fiber Optic
- CTV Existing Cable Television
- G Existing Gas and Valve
- BGE#542497 Existing B&E Light Pole
- Existing Sign
- Existing Electric Structure
- X-X-X Existing Fence Line
- Existing Retaining Wall
- Existing Tree Line
- Existing Drive
- Existing Building
- Limit of Field-Run Topography
- Tract Boundary
- Utility Easement Line
- 660 Proposed Grades
- PR 8" S. Proposed Sewer
- PR 8" W. Proposed Water and Fire Hydrant
- PR 15" D. Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- Proposed Concrete Sidewalk
- Proposed Retaining Wall
- Proposed Edge of Paving
- Existing Pervious (Micro-Bio)
- Proposed Synthetic Turf
- Proposed Relocated Art Exhibit Locations

**DAP NOTE**

SITE DEVELOPMENT PLAN HAS BEEN REVISED TO REFLECT DAP APPROVAL COMMENTS RELATED TO THE PLAZA REFRESH. COMMENTS INCLUDE THE ADDITION OF A CROSSWALK TO LINK THE PARKING FIELD TO THE WEST PLAZA ENTRY.



**PLAN**

SCALE: 1"=30'

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10551      EXPIRATION DATE: 8-28-2021

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
 Director \_\_\_\_\_ Date \_\_\_\_\_

**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY:	M.J.P.		
DRAWN BY:	M.S.S.		
CHECKED BY:			
DATE:			
BY	NO.	REVISION	DATE

**DEVELOPER**  
**BROOKFIELD PROPERTIES**  
 26300 CEDAR ROAD  
 BEECHWOOD, OHIO 44122  
 212-417-7000

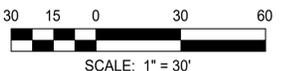
**SITE DEVELOPMENT PLAN**

**REVISED SITE DEVELOPMENT PLAN**  
**THE MALL IN COLUMBIA**

LIFESTYLE CENTER REFRESH  
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
 SHEET 66 OF 95

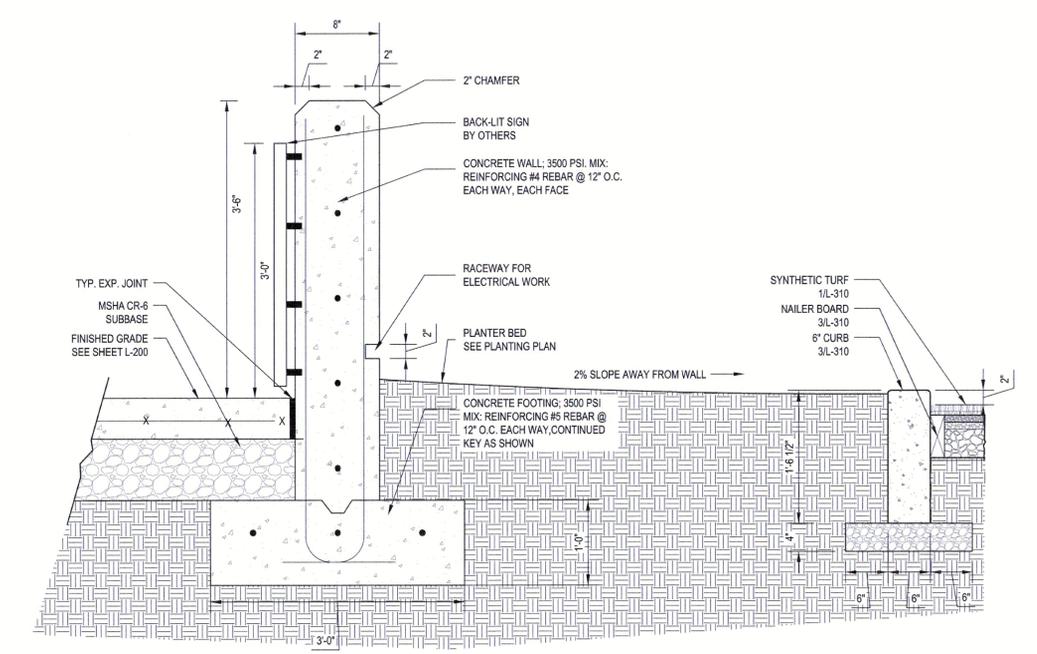
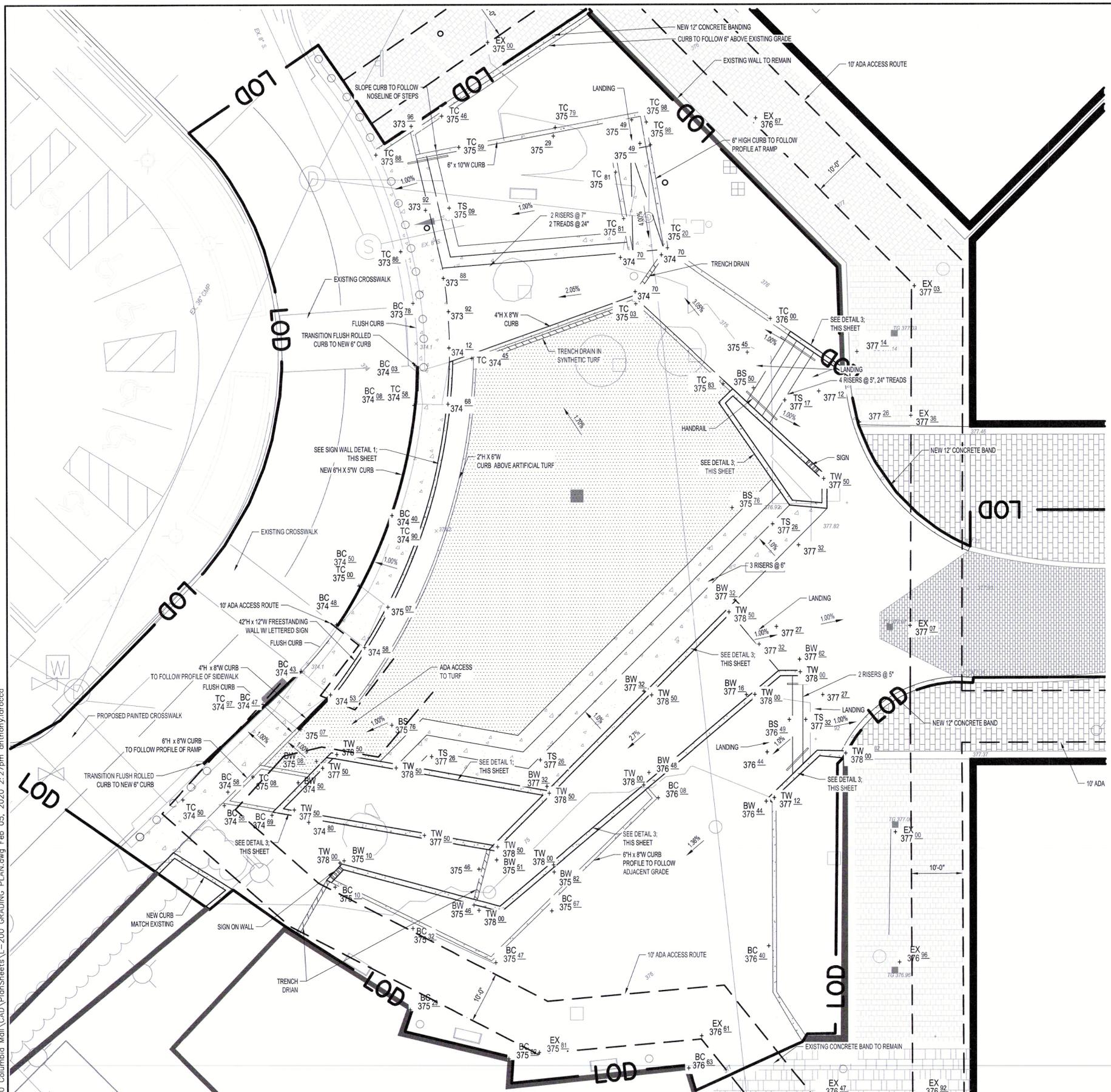
C.E.I. PROJECT NUMBER 28141.06

SCALE:

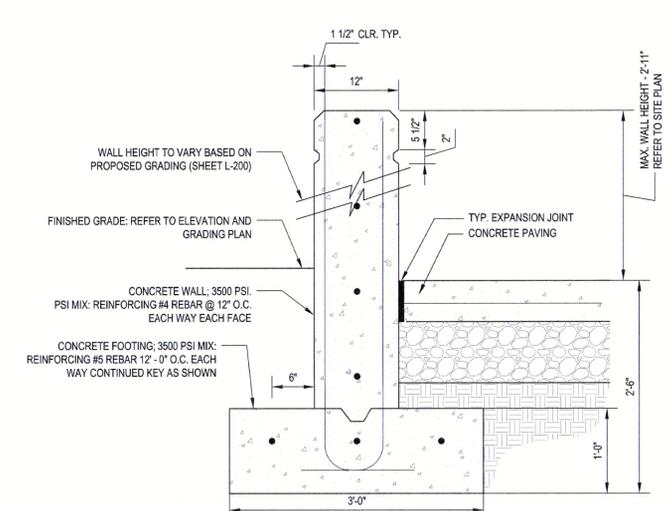


SCALE: 1" = 30'

S:\2006\Facilities\28141.06 TMIC Plaza Refresh\CIVIL\CADD\Drawings\28141.06 (SDP-01) Site Development Plan\_66 of 96.dwg Feb 06, 2020 9:23am afunsch



1 SIGN WALL SECTION  
1"=1'-0"

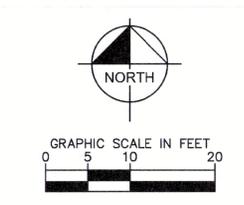


3 FREESTANDING WALL TYP.  
1"=1'-0"

NOTE: WALL HEIGHTS VARY BASED ON PROPOSED ELEVATIONS. DETAIL (#3 THIS SHEET) PROVIDED WILL APPLY TO ALL FREESTANDING AND RETAINING WALLS - HOWEVER, HEIGHT OF WALL WILL VARY.

- KEY**
- PROPOSED TRENCH DRAIN
  - SPOT ELEVATION

- NOTES**
1. ANY ADJACENT MATERIAL DAMAGED, OBSTRUCTED, OR ALTERED BY CONSTRUCTION IS TO BE REPLACED IN KIND. THIS INCLUDES ANY TURF, PAVING, CONCRETE MASONRY, PLANT MATERIAL, ETC.
  2. REFER TO SHEET L-100 FOR GENERAL NOTES.
  3. CONTRACTOR SHALL TIE INTO EXISTING GRADES ADJACENT TO LOD SEAMLESSLY AND ADJUST PROPOSED GRADES AS NECESSARY TO MAKE SMOOTH OR EVEN TRANSITIONS.



**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NUMBER: 10551  
8-28-21 EXPIRATION DATE:

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Chief, Development Engineering Division  
Chief, Division of Land Development  
Director

**CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401



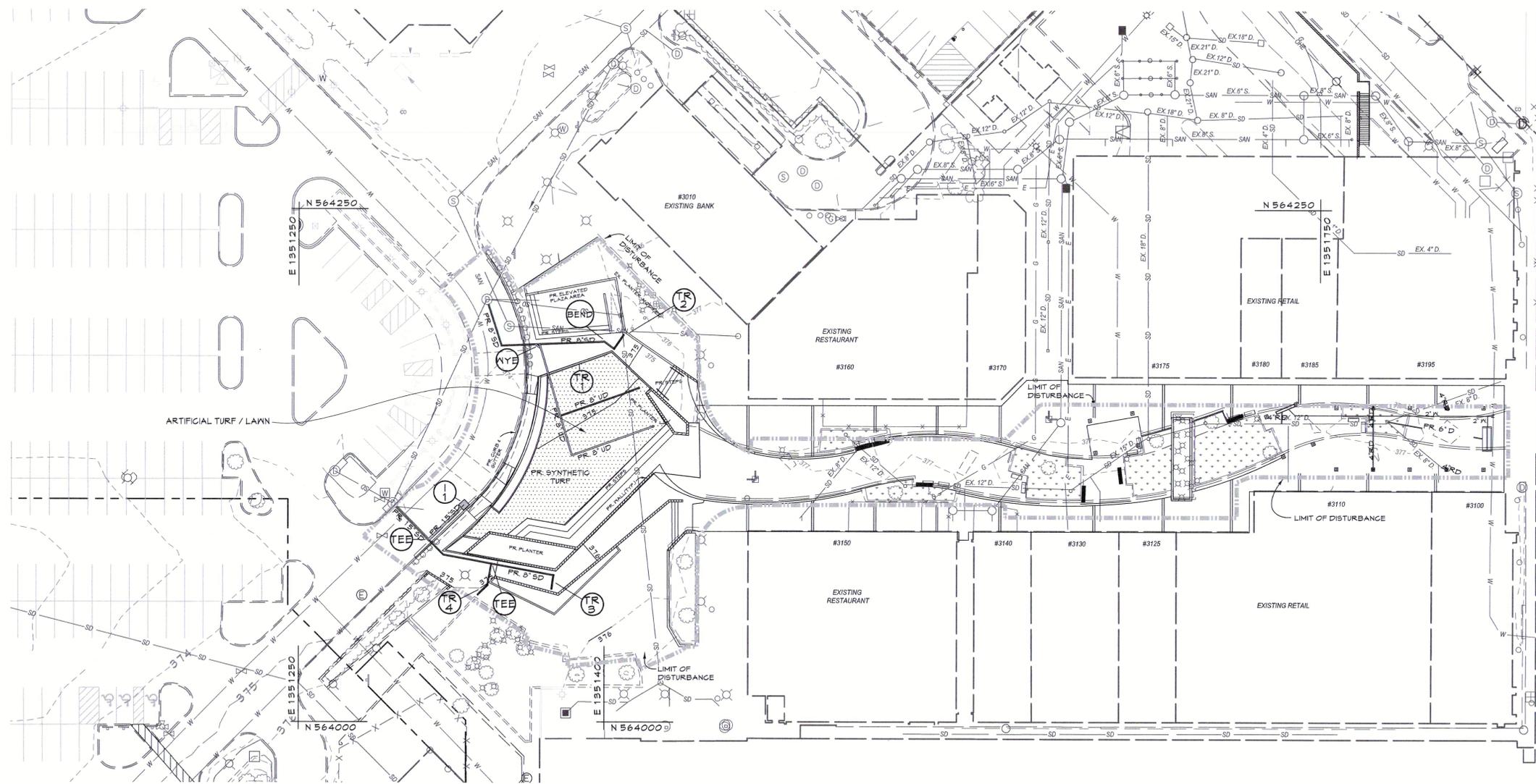
DESIGN BY: M.J.P.	
DRAWN BY: M.S.S.	
CHECKED BY:	
DATE:	
BY NO.	REVISION DATE

DEVELOPER  
**BROOKFIELD PROPERTIES**  
26300 CEDAR ROAD  
BEECHWOOD, OHIO 44122  
212-417-7000

REVISED SITE DEVELOPMENT PLAN  
**THE MALL IN COLUMBIA**  
LIFESTYLE CENTER REFRESH  
TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
SHEET 67 OF 86

C.E.I. PROJECT NUMBER  
28141.06  
SCALE:  
NOTED

K:\BAL\_LAI\114075000 Columbia Mall\CAD\PlanSheets\L-200 GRADING PLAN.dwg Feb 05, 2020 2:27pm anthony.larocco



**PLAN**

SCALE: 1"=30'

**LEGEND**

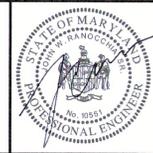
---	Existing Minor Contour	---	Proposed Grades
---	Existing Major Contour	---	Proposed Sewer
---	Existing Edge of Paving	---	Proposed Water and Fire Hydrant
Av	Soil Line	---	Proposed Storm Drain and Inlets
SD	Existing Storm Drain and Inlet	---	Proposed Curb & Gutter
W	Existing Water and Fire Hydrant	---	Proposed Turf Lawn
SAW	Existing Sewer	---	Proposed Concrete Sidewalk
---	Existing Curb and Gutter	---	Proposed Retaining Wall
E	Existing Underground Electric	---	Proposed Edge of Paving
OHE	Existing Overhead Electric	---	Limit of Disturbance
FO	Existing Fiber Optic	---	
CTV	Existing Cable Television	---	
G	Existing Gas and Valve	---	
BGE#542497	Existing BGE Light Pole	---	
---	Existing Sign	---	
---	Existing Electric Structure	---	
X-X-X	Existing Fence Line	---	
---	Existing Retaining Wall	---	
---	Existing Drive	---	
---	Existing Building	---	
---	Limit of Field-Run Topography	---	
---	Tract Boundary	---	
---	Utility Easement Line	---	

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10531 EXPIRATION DATE: 8-28-21

**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401



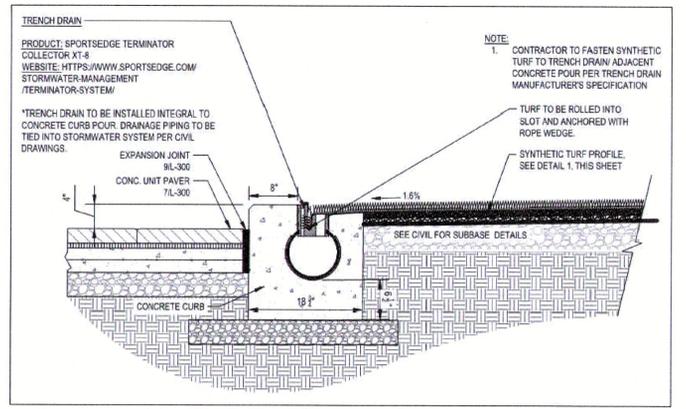
DESIGN BY: M.J.P.	
DRAWN BY: M.S.S.	
CHECKED BY:	
DATE:	
BY NO.	REVISION DATE

DEVELOPER  
**BROOKFIELD PROPERTIES**  
 26300 CEDAR ROAD  
 BEECHWOOD, OHIO 44122  
 212-417-7000

UTILTY PLAN  
 REVISED SITE DEVELOPMENT PLAN  
**THE MALL IN COLUMBIA**  
 LIFESTYLE CENTER REFRESH  
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
 SHEET 68 OF 86

C.E.I. PROJECT NUMBER  
 28141.06

SCALE:



**TRENCH DRAIN in SYNTHETIC TURF - TR# 1**  
 SCALE: N.T.S.

**Paver Grate**

Call for details and talk to an expert.

Select a number to learn more about this product's features.

**PolyDrain PaverGrate**  
 ADA & Heel Proof

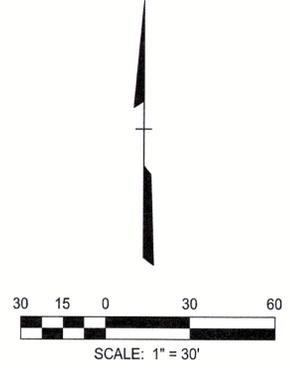
**Related products**

**PolyDrain**  
 PaverGrate is designed to provide a discreet look when used in conjunction with brick or stone pavers. With a 5/16" opening, PaverGrate is both ADA and Heel Proof.

**Important Issues**  
 NFPA requires nonflammable trench drains  
 Selecting a fire resistant trench drain system should be common practice for any interior application. Trench Drains are often the collection points for flammable fluids and heavier-than-air vapors. As a result, trenches even when empty can act as a pathway for flame spread. For more info, see our Flame and Smoke page.

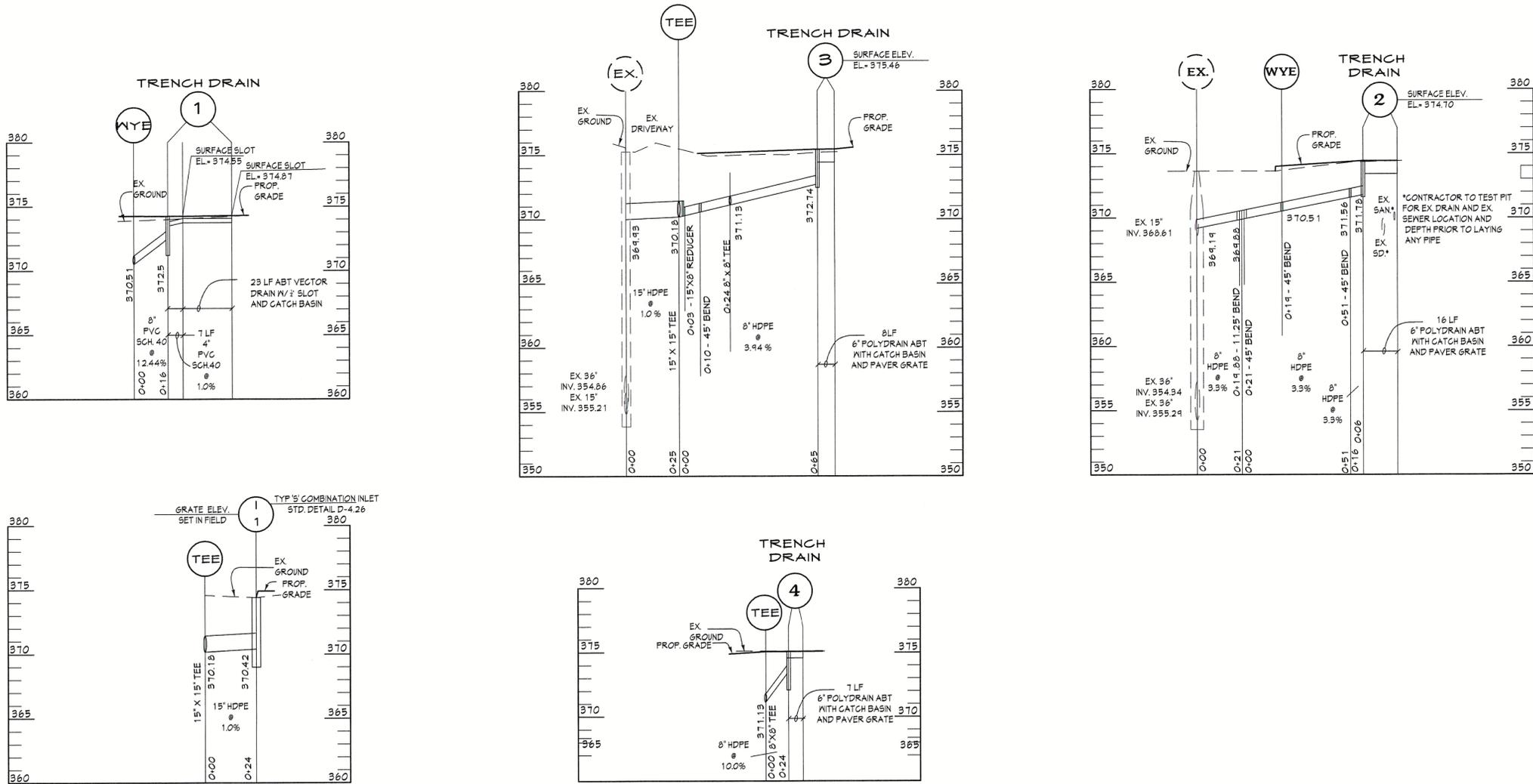
**NFPA**

**TRENCH DRAIN GRATES - TR# 2,3,4**  
 SCALE: N.T.S.



s:\2008\Facilities\28141.06\1.05 TmC\_Plaza Refresh\CADD\Drawings\28141.06 (UP-01) Utility Plan.dwg 05. 2020 8:28am afurisch

6:\2008\Facilities\2814105 TMC\_Plaza Refresh\CADD\Drawings\2814106 (UP-01) Utility Profiles\_69 of 66.dwg Dec 25, 2014 4:14:14 am afutsch



**STORM DRAIN PROFILES  
PROFILE**  
SCALE: HORIZ. 1"=30'  
VERT. 1"=5'

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10381 EXPIRATION DATE: 8-29-21

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Director \_\_\_\_\_ Date \_\_\_\_\_

**CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY:	M.J.P.		
DRAWN BY:	M.S.S.		
CHECKED BY:			
DATE:			
BY	NO.	REVISION	DATE

DEVELOPER  
**BROOKFIELD PROPERTIES**  
26300 CEDAR ROAD  
BEECHWOOD, OHIO 44122  
212-417-7000

**REVISED SITE DEVELOPMENT PLAN  
THE MALL IN COLUMBIA**

LIFESTYLE CENTER REFRESH

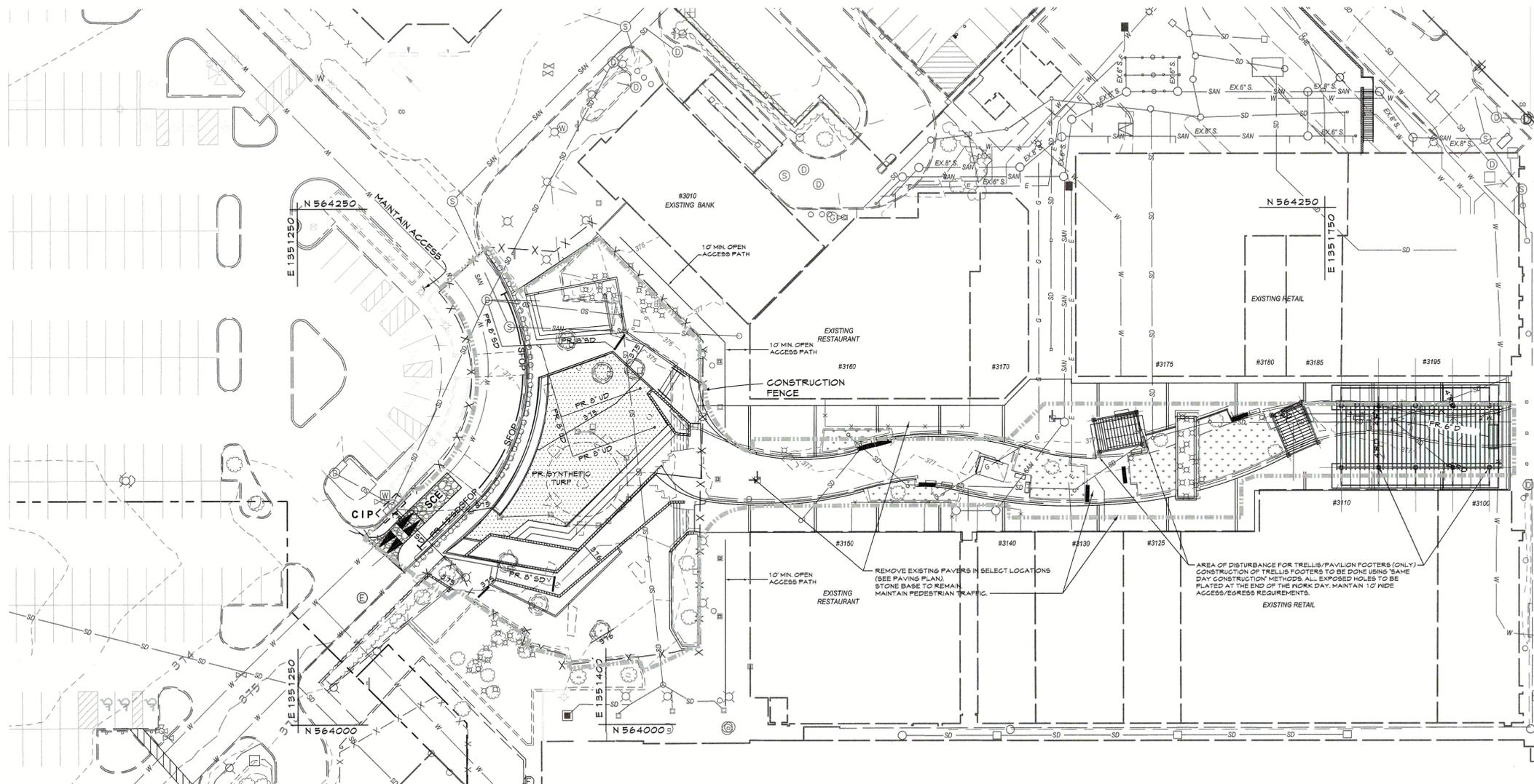
TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND

SHEET 69 OF 95

C.E.I. PROJECT NUMBER  
28141.06

SCALE:

S:\2008\Facilities\28 1.4.1.05 TMC Plaza Refresh\CIVIL\CADD\Drawings\28 1.4.1.06 (ESC-01) Erosion & Sediment Control Plan\_T0 of 26.dwg Dec 29, 2014 11:20am kdarley



**PLAN**

SCALE: 1"=30'

**LEGEND**

- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Road
- Existing Stream
- Existing Trees/Tree Line
- Existing Curb & Gutter
- Existing Storm Drains
- Existing Water Main
- Existing Sanitary Sewer
- Existing Fiber Optic
- Existing Cable Television
- Existing Gas and Valve
- Existing BGE Light Pole
- Existing Sign
- Existing Electric Structure
- Existing Fence Line
- Tract Boundary
- Utility Easement Line
- Existing Building
- Proposed Grades
- Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- Proposed Tree Line
- Proposed Building
- Construction Fence
- Super Silt Fence
- CIP
- SIP
- SCE
- Mountable Berm
- Limit of Disturbance

**NOTES**

THE STANDARD SEDIMENT & EROSION CONTROL PLAN WILL BE USED

**SEQUENCE OF CONSTRUCTION**

1. Obtain grading permits (1 day)
2. Install erosion and sediment control measures (SCE, SOP and Inlet protection) (2 days)
3. Contractor to begin rough grading operations and removal of curbs, existing fountain, existing utilities, stones, lights and existing paving. Repair as necessary any sediment controls at the end of each working day. (21 days)
4. Contractor to begin construction. Access to existing businesses to remain open during construction. Repair as necessary any sediment controls at the end of the day. (60 days)
5. When construction is completed and with the permission of the inspector, remove SOP to install remaining full curb and new ramps. (14 days)
6. Stabilize all areas and install landscaping. (14 days)
7. Once all areas are stabilized, and with the permission of the sediment control inspector, remove SCE and repair driveway paving disturbed by the process. (5 days)
8. With the approval of the sediment control inspector, permanently stabilize any remaining areas and remove remaining sediment control devices disturbed by this process. (2 days)

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10351      EXPIRATION DATE: 9-29-21

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Chief, Development Engineering Division	Date
Chief, Division of Land Development	Date
Director	Date

**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401

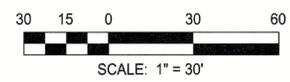


DESIGN BY:	M.J.P.		
DRAWN BY:	M.S.S.		
CHECKED BY:			
DATE:			
BY	NO.	REVISION	DATE

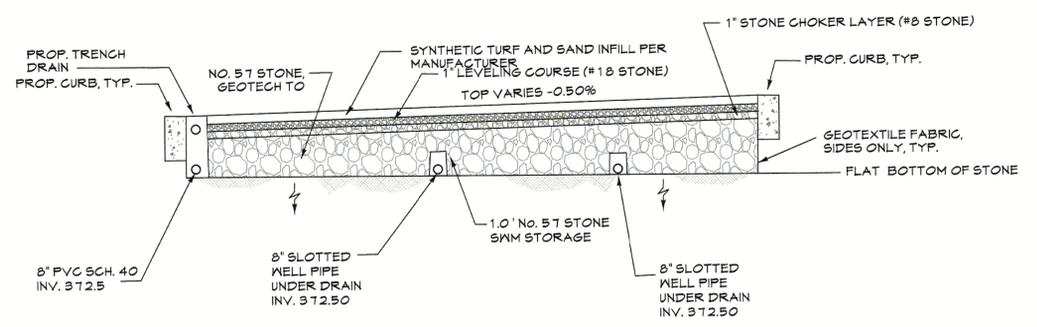
DEVELOPER  
**BROOKFIELD PROPERTIES**  
 26300 CEDAR ROAD  
 BEECHWOOD, OHIO 44122  
 212-417-7000

EROSION & SEDIMENT CONTROL PLAN  
 REVISED SITE DEVELOPMENT PLAN  
**THE MALL IN COLUMBIA**  
 LIFESTYLE CENTER REFRESH  
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
 SHEET 70 OF 95

C.E.I. PROJECT NUMBER  
 28141.06  
 SCALE:



S:\2008\Facilities\2814.05 TMC Plaza Refresh\CIVIL\CADD Drawings\2814.06 (SWM-O1) Stormwater Management Plan\_T1 of 06.dwg Dec 23, 2014 10:51 am kdarley

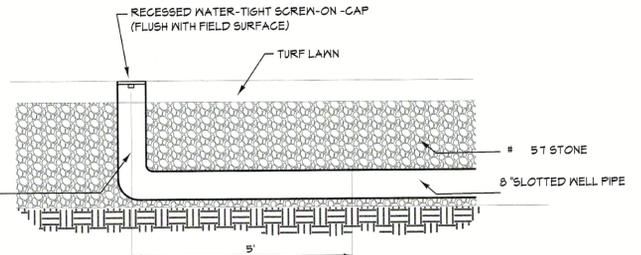


\* FINAL PLANS TO BE COORDINATED WITH MANUFACTURER OF TURF FOR SPECIFICATIONS AND INSTALLATION GUIDELINES.

ESD FACILITY SUMMARY TABLE

Facility Number	Facility Type	Drainage Area	IART	Volume Required	75% Volume Required	Volume Proposed
1	STONE STORAGE BELOW SYNTHETIC TURF LAWN	6,591 sf	0.139 Ac. (6,055 sf)	1,070 cf	N/A	1,148* cf

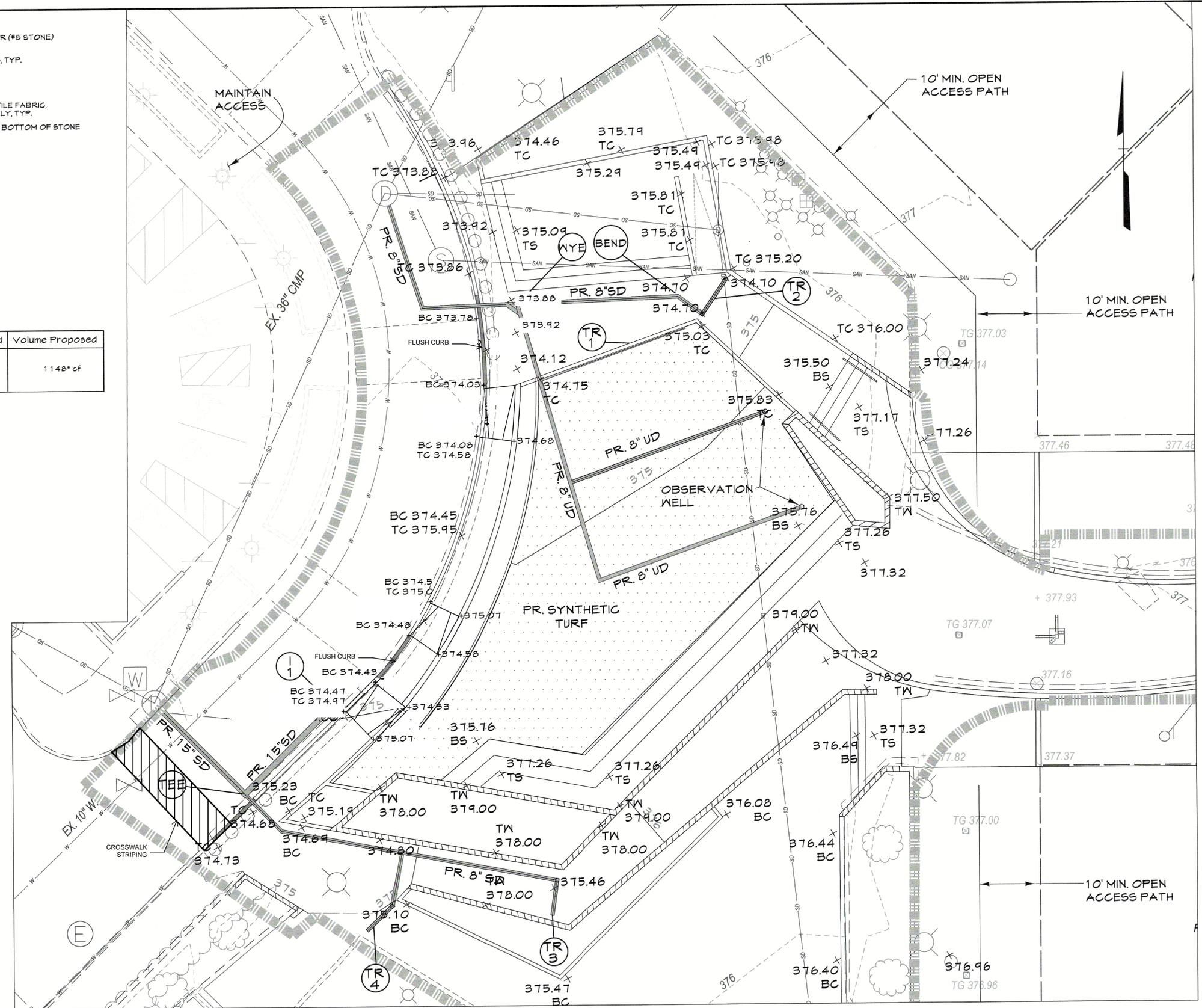
\*3,829 SF (AREA OF TURF LAWN) X 1.0'(STONE STORAGE) X 0.30% (VOIDS)=1,148 CF STONE STORAGE



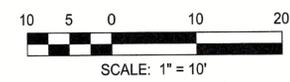
OBSERVATION WELL DETAIL NOT TO SCALE

LEGEND

- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Paving
- AV --- Soil Line
- SD --- Existing Storm Drain and Inlet
- W --- Existing Water and Fire Hydrant
- SAW --- Existing Sewer
- E --- Existing Curb and Gutter
- OHE --- Existing Underground Electric
- OHE --- Existing Overhead Electric
- FO --- Existing Fiber Optic
- CTV --- Existing Cable Television
- G --- Existing Gas and Valve
- BGE#54247 --- Existing BGE Light Pole
- Existing Sign
- Existing Electric Structure
- X-X-X --- Existing Fence Line
- Existing Retaining Wall
- Existing Tree Line
- Existing Drive
- Existing Building
- Limit of Field-Run Topography
- Tract Boundary
- Utility Easement Line
- 660 --- Proposed Grades
- PR. 8" S --- Proposed Sewer
- PR. 8" W --- Proposed Water and Fire Hydrant
- PR. 15" D --- Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- TURF LAWN WITH STONE STORAGE BELOW



PLAN SCALE: 1"=10'



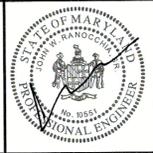
PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10551 EXPIRATION DATE: 9-28-21

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Chief, Development Engineering Division  
 Chief, Division of Land Development  
 Director

**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401

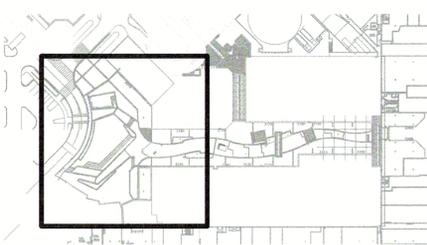
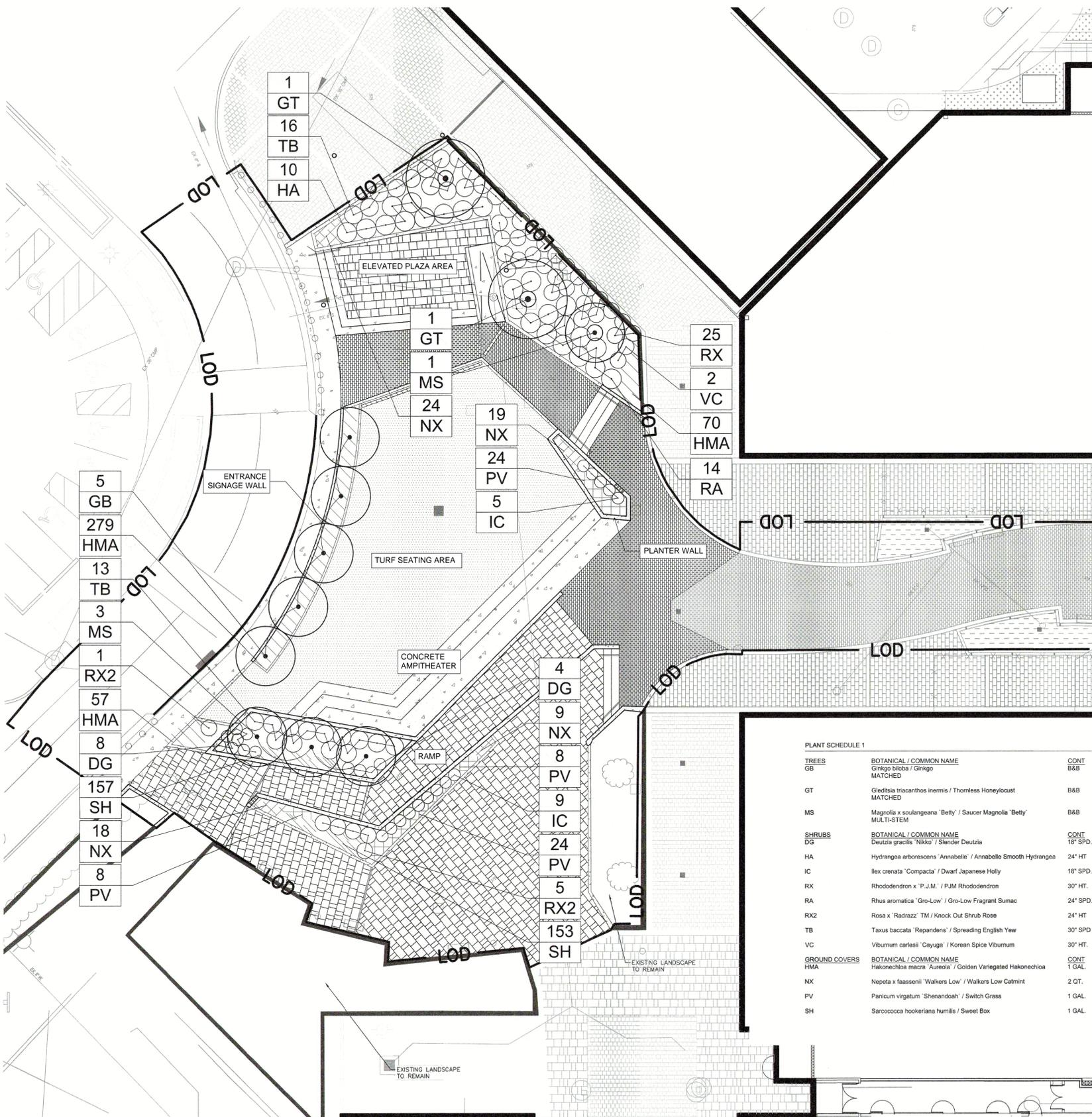


DESIGN BY:	M.J.P.	DATE:	
DRAWN BY:	M.S.S.	BY	NO.
CHECKED BY:		REVISION	DATE

DEVELOPER  
**BROOKFIELD PROPERTIES**  
 26300 CEDAR ROAD  
 BEECHWOOD, OHIO 44122  
 212-417-7000

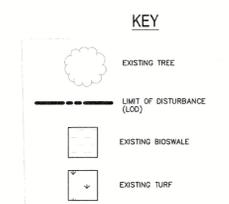
STORMWATER MANAGEMENT PLAN  
 REVISED SITE DEVELOPMENT PLAN  
**THE MALL IN COLUMBIA**  
 LIFESTYLE CENTER REFRESH  
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
 SHEET 71 OF 95  
 C.E.I. PROJECT NUMBER 28141.06  
 SCALE:

K:\BAL\_L\114075000 Columbia Mall\CAD\PlanSheets\L-400 LANDSCAPE PLAN.dwg Dec 20, 2019 1:21pm AnthonyLaRocca



NOTE: POSTING OF LANDSCAPE SURETY IS REQUIRED IN ACCORDANCE WITH THE DOWNTOWN GUIDELINES FOR ALL AREAS OUTSIDE OF THE BIO-RETENTION FACILITIES IN THE AMOUNT OF \$6,600 FOR 7 SHADE TREES (\$300.00 EACH), 4 ORNAMENTAL TREES (\$150.00 EACH), 0 EVERGREEN TREES (\$150.00 EACH), AND 112 SHRUBS (\$30.00 EACH). FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT. ALL PLANTING SHALL BE COMPLETED AS SHOWN ON THE LANDSCAPE PLAN PRIOR TO RELEASE OF ANY LANDSCAPE SURETY.

SEE SHEETS 41 AND 42 FOR NEWLY PROPOSED LIGHTING DETAILS



NOTES  
 1. ANY ADJACENT MATERIAL DAMAGED, OBSTRUCTED, OR ALTERED BY CONSTRUCTION IS TO BE REPLACED IN KIND. THIS INCLUDES ANY TURF, PAVING, CONCRETE MASONRY, PLANT MATERIAL, ETC.  
 2. REFER TO L-420 FOR LANDSCAPE NOTES AND PLANTING DETAILS.

PLANT SCHEDULE 1

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
GB	Ginkgo biloba / Ginkgo MATCHED	B&B	4" CAL.		5
GT	Gleditsia triacanthos inermis / Thornless Honeylocust MATCHED	B&B	2 1/2" CAL.		2
MS	Magnolia x soulangeana 'Betty' / Saucer Magnolia 'Betty' MULTI-STEM	B&B		8' HT.	4
SHRUBS	BOTANICAL / COMMON NAME	CONT			QTY
DG	Deutzia gracilis 'Nikko' / Slender Deutzia	16" SPD.			12
HA	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea			24" HT	10
IC	Ilex crenata 'Compacta' / Dwarf Japanese Holly	18" SPD.			14
RX	Rhododendron x 'P.J.M.' / P.J.M. Rhododendron	30" HT.			25
RA	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	24" SPD.			14
RX2	Rosa x 'Radrazz' TM / Knock Out Shrub Rose	24" HT			6
TB	Taxus baccata 'Repandens' / Spreading English Yew	30" SPD			29
VC	Viburnum carlesii 'Cayuga' / Korean Spice Viburnum	30" HT.			2
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACINGS	QTY	
HMA	Hakonechloa macra 'Aureola' / Golden Variegated Hakonechloa	1 GAL.	12" o.c.	406	
NX	Nepeta x faassenii 'Walkers Low' / Walkers Low Catmint	2 QT.	15" o.c.	70	
PV	Panicum virgatum 'Shenandoah' / Switch Grass	1 GAL.	18" o.c.	64	
SH	Sarcococca hookeriana humilis / Sweet Box	1 GAL.	8" o.c.	310	



PLAN PREPARED BY:  
**Kimley»Horn**  
 KIMLEY-HORN & ASSOCIATES, INC.  
 1801 Porter St. Suite 401,  
 Baltimore, MD 21230  
 443.743.3470  
 www.Kimley-horn.com

PROFESSIONAL CERTIFICATION

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LICENSE NUMBER: 10551 EXPIRATION DATE: 8-28-21  
**LANDSCAPE PLAN**

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
 Director \_\_\_\_\_ Date \_\_\_\_\_

**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY: M.J.P.  
 DRAWN BY: M.S.S.  
 CHECKED BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_

BY	NO.	REVISION	DATE

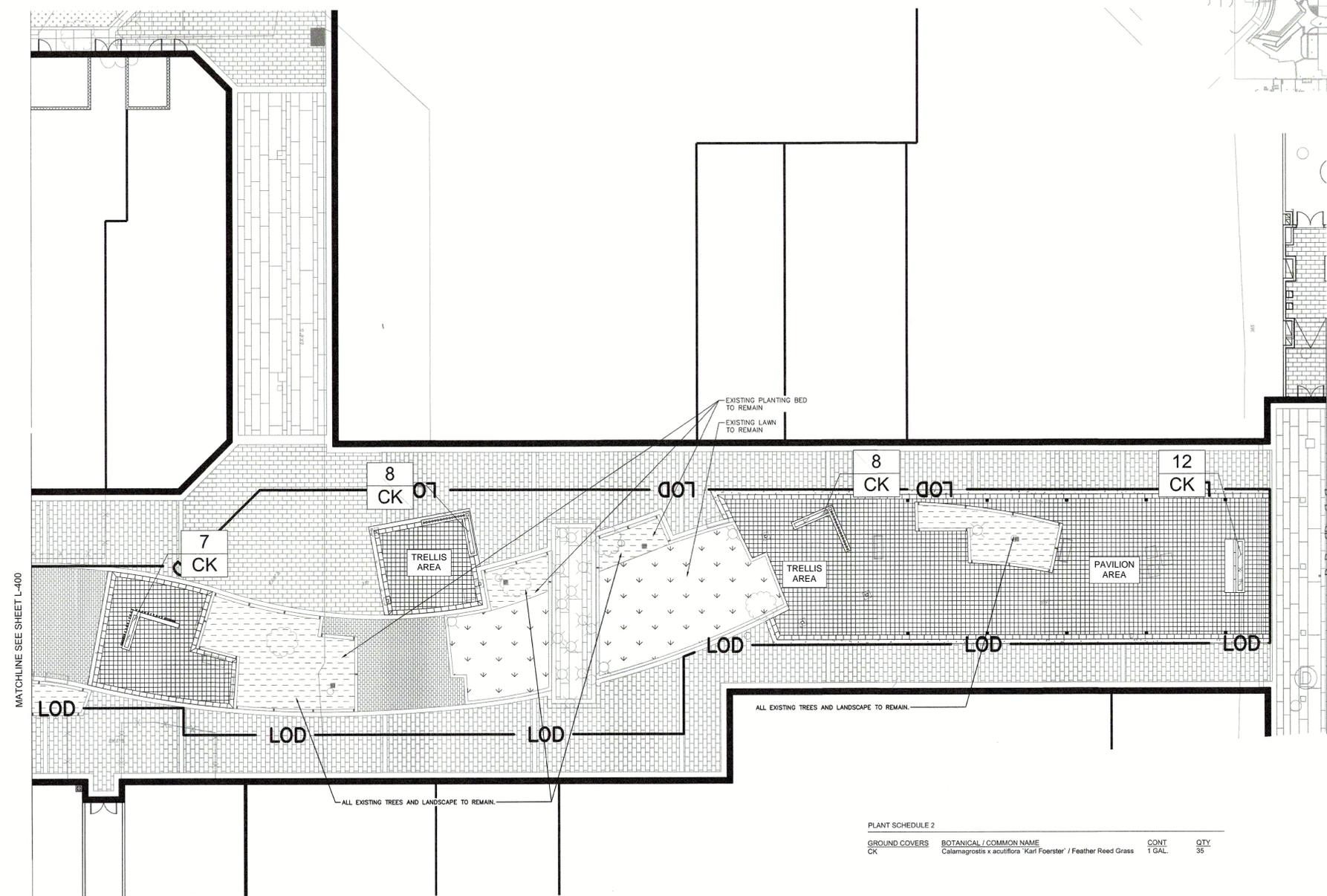
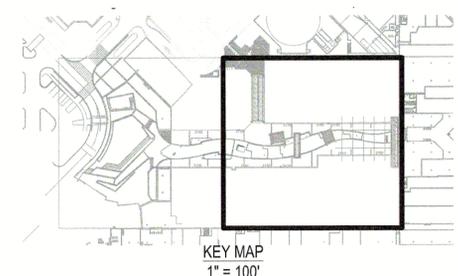
DEVELOPER  
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 212-417-7000

REVISED SITE DEVELOPMENT PLAN  
**THE MALL IN COLUMBIA**  
 LIFESTYLE CENTER REFRESH  
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
**SHEET 72 OF 95**

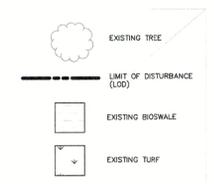
C.E.I. PROJECT NUMBER  
 28141.06  
 SCALE:  
 N.T.S.

NOTE: POSTING OF LANDSCAPE SURETY IS REQUIRED IN ACCORDANCE WITH THE DOWNTOWN GUIDELINES FOR ALL AREAS OUTSIDE OF THE BIO-RETENTION FACILITIES IN THE AMOUNT OF \$6,600 FOR 7 SHADE TREES (\$300.00 EACH), 4 ORNAMENTAL TREES (\$150.00 EACH), 0 EVERGREEN TREES (\$150.00 EACH), AND 112 SHRUBS (\$30.00 EACH). FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT. ALL PLANTING SHALL BE COMPLETED AS SHOWN ON THE LANDSCAPE PLAN PRIOR TO RELEASE OF ANY LANDSCAPE SURETY.

SEE SHEETS 41 AND 42 FOR NEWLY PROPOSED LIGHTING DETAILS



KEY



- NOTES
1. ANY ADJACENT MATERIAL DAMAGED, OBSTRUCTED, OR ALTERED BY CONSTRUCTION IS TO BE REPLACED IN KIND. THIS INCLUDES ANY TURF, PAVING, CONCRETE MASONRY, PLANT MATERIAL, ETC.
  2. REFER TO L-420 FOR LANDSCAPE NOTES AND PLANTING DETAILS.

PLANT SCHEDULE 2

GROUND COVERS	BOTANICAL / COMMON NAME	CONT	QTY
CK	Calamagrostis x acutiflora "Karl Foerster" / Feather Reed Grass	1 GAL.	35

PLAN PREPARED BY:  
**Kimley»Horn**  
 KIMLEY-HORN & ASSOCIATES, INC.  
 1801 Porter St. Suite 401,  
 Baltimore, MD 21230  
 443.743.3470  
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LICENSE NUMBER: 10551 EXPIRATION DATE: 8-24-21  
 LANDSCAPE PLAN

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
 Director \_\_\_\_\_ Date \_\_\_\_\_

**CENTURY ENGINEERING**  
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 Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY:	M.J.P.		
DRAWN BY:	M.S.S.		
CHECKED BY:			
DATE:			
BY	NO.	REVISION	DATE

DEVELOPER  
**BROOKFIELD PROPERTIES**  
 26300 CEDAR ROAD  
 BEECHWOOD, OHIO 44122  
 212-417-7000

REVISED SITE DEVELOPMENT PLAN  
**THE MALL IN COLUMBIA**  
 LIFESTYLE CENTER REFRESH  
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
 SHEET 73 OF 95

C.E.I. PROJECT NUMBER  
 28141.06  
 SCALE:  
 N.T.S.

K:\BAL\LA\P\114075000 Columbia Mall\CAD\PlanSheets\410 LANDSCAPE PLAN.dwg Dec 20, 2019 1:21pm Anthony.LaRocca

**PLANTING NOTES**

**Plant Identification** - All plants shall be properly marked for identification and checking.

**List of Plant Material** - The quantities given in the plant list are approximate only. The contractor will verify plant quantities prior to bidding and any discrepancies shall be brought to the attention of the landscape architect. The Contractor shall furnish, and plant, all plants required to complete the work as shown on the drawings. Substitutions shall not be made without the written approval of Kimley-Horn and the owner. This contract will be based on the bidder having verified prior to bidding the availability of the required plant materials as specified on the Plant Materials List.

**Plant Quality** - All shrubs shall be dense, heavy to the ground, and well grown, showing evidence of having been pruned regularly, and shall be vigorous, healthy and of good color. All plants shall be sound, free of plant disease, infestation, or insect eggs and shall have a healthy, normal root system. Plants shall be freshly dug and not heeled-in stock, nor stock from cold storage. All plants shall be nursery grown. Plants shall not be pruned prior to delivery. The shape of the plant shall, in general, conform to its natural growth proportions unless otherwise specified. All plants, including container grown, shall conform to the branching, caliper and height specifications of the American Association of Nurserymen's Publication entitled American Standard for Nursery Stock, ANSIZ60.1-2004 or latest edition, and shall have a well-shaped, heavy-branched structure for the species. Evergreen trees are to have an internode no greater than 24" and shall be uniformly well-shaped. Plants of a given size shall not measure less than the minimum size as set forth in the American Standard for Nursery Stock, ANSIZ60.1-2004 or latest edition.

**Plant Tagging** - The contractor shall prepare a list of nurseries supplying the specified plant material for the owner and Kimley-Horn to inspect, at their option, and tag prior to digging

**Plant Spacing** - Plant spacing is to scale on plan. No shrub material shall be closer than 30" to building walls.

**Soil Mix** - Soil mix will be 2/3 existing topsoil, 1/3 leafmold thoroughly mixed and homogenized. Other organic material may be substituted upon written approval by Kimley-Horn.

**Rootball Size** - The ball size shall conform to the American Association of Nurserymen's Publication entitled American Standard for Nursery Stock, ANSIZ60.1-2004 or latest edition, and shall be wrapped in untreated burlap.

**Excavation** - Holes for all trees shall be 2 times the size of root ball or container and shall have vertical sides. Holes for shrubs shall be 12" wider than the root ball. Beds for mass planting shall be entirely rototilled to a depth of 8" and shall be 18" beyond the average outside edge of plant balls. Organic material (leafmold) will be incorporated into plant beds by tilling again to a depth of 8". Proportions of soil to organic material will be two parts existing soil to one part organic material.

**Planting** - Backfilling shall be done with soil mix previously described, reasonably free of stones, subsoil, clay, lumps, stumps, roots, weeds, Bermuda grass, litter, toxic substances, or any other material which may be harmful to plant growth or hinder grading, planting, or maintenance operations. Should any unforeseen or unsuitable planting conditions arise, such as faulty soil drainage, chemical residues or inconsistencies between plans and actual site conditions, they should be called to the attention of Kimley-Horn and the owner for adjustment before planting. Plants shall be set plumb and straight and trees shall be guyed or staked, where required, at the time of planting. Backfill shall be well worked about the roots and seated by watering. Plants will be planted higher than surrounding grade. Shrubs and trees will be set at a depth to place 1/8th of the rootball above finish grade. Remove rope from round tree trunks and lay back burlap and wire baskets from top 1/3 of all B&B material. Nylon, plastic, or vinyl rope and/or burlap will be completely removed from all plant material prior to planting.

**Cultivation** - All trenches and shrub beds shall be cultivated, edged and mulched to a depth of 2" minimum and 3" maximum with well-aged, fine-shredded hardwood bark. The area around isolated plants shall be mulched to at least a 6" greater diameter than that of the hole. Plant beds adjacent to buildings shall be entirely mulched to the building wall

**Maintenance** - The Contractor shall be responsible during the contract and up to the time of acceptance for keeping the planting and work incidental thereto in good condition by replanting, plant replacement, watering, weeding, cultivating, pruning, spraying, restaking and cleaning up, and by performing all other necessary operations of care for the promotion of good plant growth so that all work is in satisfactory condition at the time of acceptance at no additional cost to the owner.

**Fertilizer & Inoculation** - All fertilizer shall be granular, with 35 to 80 percent of the total nitrogen in a slowly available form. For trees, shrubs, and groundcover; fertilizer shall be a complete fertilizer with a minimum analysis of 10 percent nitrogen, 6 percent phosphorus and 4 percent potassium. For perennials, annuals, and bulbs; fertilizer shall be a time-released, high-phosphate fertilizer, i.e., osmocote. For bulbs, fertilizer shall be bone meal (commercial, raw and finely-round), with an analysis of 4 percent nitrogen and 20 percent phosphoric acid.

Fertilizer shall be added depending on the size of the plant and the manufacturer's recommendation using the following application rates:

- Trees: Use 2 lb. of 10-6-4 fertilizer per inch of trunk diameter.
- Shrubs: Use 1/4 lb. of 10-6-4 fertilizer per foot of height or spread per plant, or 3-5 lbs of 10-6-4 fertilizer per 100 square feet of bed area.
- Groundcover: Use 3 lbs. of 10-6-4 fertilizer per 100 square feet of bed area.
- Perennials, Annuals, Bulbs: Use 3 lbs. of time-release, high-phosphate fertilizer (5-10-5) per 100 square feet of bed area.
- Planting pits shall be backfilled with a mixture containing 80% existing topsoil, 20% organic material such as leaf mold, peat moss or composed sewage sludge. Incorporate endo and ectomycorrhizal fungi transplant amendment per manufacturer's recommendations (manufacturer - Horticultural Alliance, Inc. phone 1-800-628-6373).

**Ground Cover** - All areas of groundcover shall be rototilled to a depth of 6" Apply 2" of organic material (leafmold) and rototill until thoroughly mixed. Apply fertilizer as stated above.

**Perennial Flower Bed Preparation** - A soil test shall be taken for pH analysis and the soil amended with ground limestone for acidic soil and garden sulfur or ferrous sulfate for alkaline soil at rates recommended by the soil test. The final pH should be between 6.5 and 7.0. Soil shall be spaded to a depth of 12". Spread 4" of completely decayed organic material (leafmold, well-rotted manure at least one year old, or compost) over the soil. Use "nitrogen-fortified" organic material or spread two pounds of ammonium sulfate per 100 square feet. Over this layer spread a thin layer of fertilizer per the schedule unless the soil test indicates otherwise. Rototill fertilizer and organic matter, mixing them thoroughly into the soil. Use a tiller that will cultivate to a minimum depth of 8" and do not make more than two passes. The entire bed may be cultivated with a spade if preferred. When finished, rake surface with a steel-tooth rake until smooth. Moisten the bed, let the water soak in, and rake it again.

**Guarantee and Replacement** - All plant material shall be unconditionally guaranteed for one year. The guarantee will begin on the date of final acceptance of the work. After a plant has been determined to be dead, dying or damaged from handling or installation, it will be replaced during the next growing season. For example, if a plant is found dead during the summer months, it will be replaced during the fall planting season. The guarantee will end for all plant material one year after acceptance. During the guarantee period, the Contractor will not be responsible for mechanical injury or vandalism caused by other parties.

**Material Inspection** - Owner and/or Kimley-Horn shall, at their discretion, inspect plant material before and during delivery and installation. Plant material will be properly delivered in covered trucks, and promptly uncovered when delivered to prevent damage. Material will be unloaded and properly handled in such a way as to not damage plants. Plants will be inspected and may be rejected upon delivery and/or installation by the owner for mechanical damage, and damage that will subsequently cause misshapen or deformed material. Owner will have authority to observe site preparation and planting installations, and have the right to reject any work if the specifications and construction documents are not followed. All plant material shall be of the quality specified and installed as described above, and unless these minimum standards are satisfied, the plants will be rejected.

**TOPSOIL**

- PART 1: GENERAL DESCRIPTION**
- 1.1 **DESCRIPTION**
    - A. Topsoil shall consist of furnishing and placing topsoil for lawn, shrub beds, planters, and tree pits. Topsoil shall be a rich, friable material conforming with the requirements of these specifications.
    - B. Topsoil shall be placed at a depth of 12 inches in all unpaired areas and feathered to the final grade lines. Topsoil shall be placed in conformity with the requirements of these specifications.
    - C. On site material is not suitable for use as topsoil. All topsoil must be obtained from a pre-approved off-site location. Topsoil shall be placed so that the grade shown on the plans is the final grade of soil at 85% compaction.
  - 1.2 **RELATED DOCUMENTS**
    - A. Drawings and general provisions of the Contract, including General and Supplementary Conditions apply to work of this section.
  - 1.3 **RELATED SECTIONS**
    - A. Planting Notes and Specifications

- PART 2: PRODUCTS DESCRIPTION**
- 2.1 **DESCRIPTION**
    - A. Topsoil shall be friable loam topsoil of uniform quality, free from gravel, stones, and other materials retained on a 50 mm (2") sieve. Topsoil shall have no heavy clay, frozen clods, lumps, plants, roots, sticks, asphalt, concrete, or foreign materials harmful to plant growth.
    - B. Topsoil shall be reasonably free of noxious perennial weeds or wood vegetations and completely void of Johnsongrass (Sorghum halapense) as determined through prior inspection by an authorized representative of the Department.
  - 2.2 **TESTING**
    - A. At least 30 days prior to ordering materials, the Contractor shall submit to the Engineer or the Engineer's representative certified tests and records for materials specified herein including topsoil source/s. No materials shall be ordered until the required test results and records have been reviewed and approved by the Engineer or the Engineer's representative. Delivered materials shall match the approved samples. Approval shall not constitute final acceptance. The Engineer reserves the right to reject, on or after delivery, any material that does not meet these specifications.
    - B. Three soil samples shall be taken from each stock of topsoil to be used. Soil samples shall be submitted to a public agricultural extension service agency or other testing facility capable of all testing required under these specifications (See below Section 2.2. B) and approved by the Engineer. The testing laboratory for physical analysis shall have a minimum of five years experience with the test protocols of the USDA. Test results shall be sent directly from the testing facility to the Engineer.
    - C. The method of testing topsoil shall be in accordance with the requirements of AASHTO T 88, Modified; AASHTO T 89, Method B; AASHTO T 90, AASHTO T 267 and shall meet the following specified requirements
      1. Grading Analysis:
 

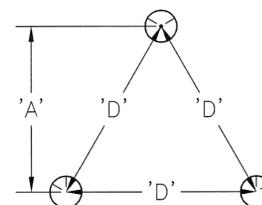
Sieve Designation	Minimum Mass Percent Passing
Standard Alternate inches	
2	2 in.
0.2	No. 4
0.08	No. 10
      2. Chemical Analysis:
        - a. Organic matter shall consist of approved organic material and shall make up not less than 3% nor more than 8% of topsoil.
        - b. pH between 5.5 and 6.0.
        - c. Soluble salt less than 0.9 millimho/cm
        - d. Cation Exchange Capacity (CEC) 15 or greater
        - e. Carbon/Nitrogen Ratio less than 33:1.
        - f. Magnesium - Mg 125 - 265 lbs/acre
        - Phosphorus - P2O5 103 - 205 lbs/acre
        - Potassium - K2O 161 - 320 lbs/acre
        - Calcium - Ca 861 - 1720 lbs/acre
        - Soluble salts Not to exceed 900 ppm
 The following elements shall not exceed the indicated amount:
 

Boron	3 lbs/acre
Manganese	50 lbs/acre
Potassium	450 lbs/acre
Sodium	20 lbs/acre

 g. Toxic elements and compounds shall be below a maximum level as recommended by the approved soil testing facility for the plants being grown.
 h. Pore space, 35 - 50 percent.

- PART 3: EXECUTION**
- 3.1 **PLACING** - Before placing or depositing topsoil upon any section as shown on the plans, the foundation upon which the topsoil is to be placed shall be approved.
  - 3.2 **COMPACTION** - Rip all sub-soil areas to receive topsoil to a depth of 6-8" prior to topsoil placement.
  - 3.3 **COMPACTION** - Topsoil shall be installed in six inch lifts. Each lift shall be compacted to 85 percent. The final elevation of the topsoil shall be based on an 85 percent compaction rate and shall correspond to elevations shown on the plans.
  - 3.4 **MAINTENANCE** - The contractor shall maintain the topsoil at his/her own expense until final completion and acceptance of the contract. Maintenance shall consist of preserving, protecting, replacing, and such other work as may be necessary to keep the topsoil in a satisfactory condition which shall be defined as not allowing erosion or compaction to take place.
  - 3.5 **FINAL CLEANING** - Upon the completion of this section, final cleaning shall be done within the limits of the project, and shall consist of completely cleaning the project of excess material, sweeping pavements and structures of dirt and rubbish, and the removal of any unused material which will mar the appearance of the contract or repairing any areas as determined by the Engineer as not meeting the specifications.

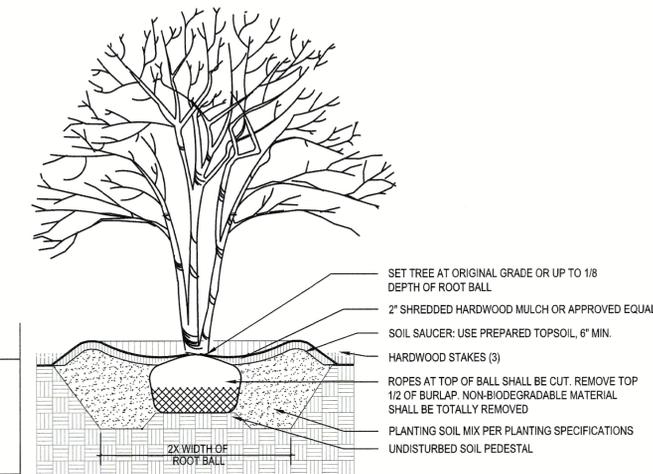
NOTE: GROUNDCOVERS AND PERENNIALS TO BE INSTALLED WITH TRIANGULAR SPACING



PLANT SPACING 'D'	ROW 'A'
6" O.C.	6.93' O.C.
10" O.C.	8.66' O.C.
12" O.C.	10.4' O.C.
15" O.C.	15.6' O.C.
24" O.C.	20.8' O.C.
36" O.C.	30.0' O.C.
48" O.C.	31.5' O.C.

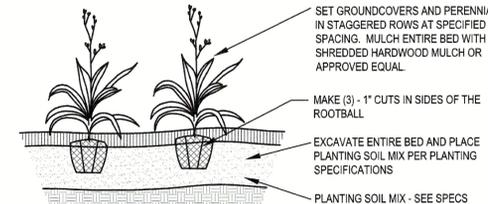
**GROUNDCOVER SPACING**

NOT TO SCALE



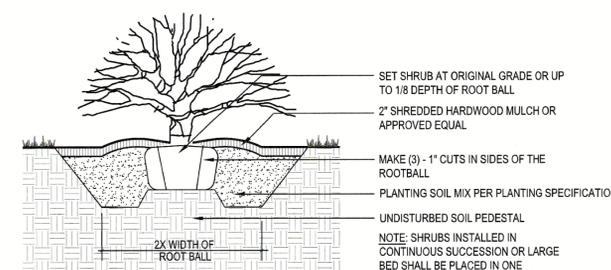
**ORNAMENTAL TREE PLANTING**

NOT TO SCALE



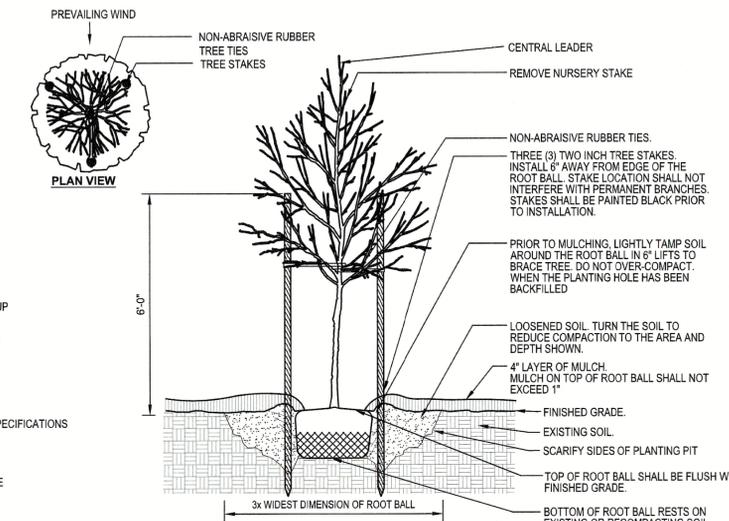
**GROUNDCOVER PLANTING**

NOT TO SCALE



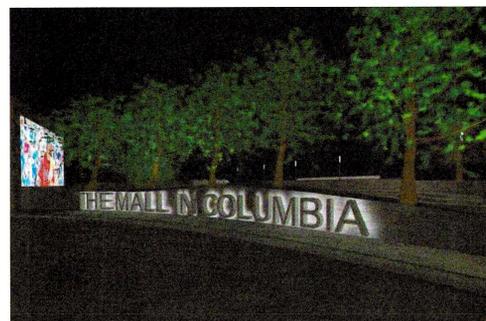
**SHRUB PLANTING**

NOT TO SCALE



**DECIDUOUS TREE PLANTING**

NOT TO SCALE



**SIGN WALL IMAGE**

NOT TO SCALE

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 18551

EXPIRATION DATE: 8-28-21

**LANDSCAPE DETAILS**

**REVISED SITE DEVELOPMENT PLAN THE MALL IN COLUMBIA**

LIFESTYLE CENTER REFRESH  
TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
SHEET 74 OF 95

C.E.I. PROJECT NUMBER 28141.06

SCALE: N.T.S.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division	Date
Chief, Division of Land Development	Date
Director	Date

**CENTURY ENGINEERS - PLANNERS**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401

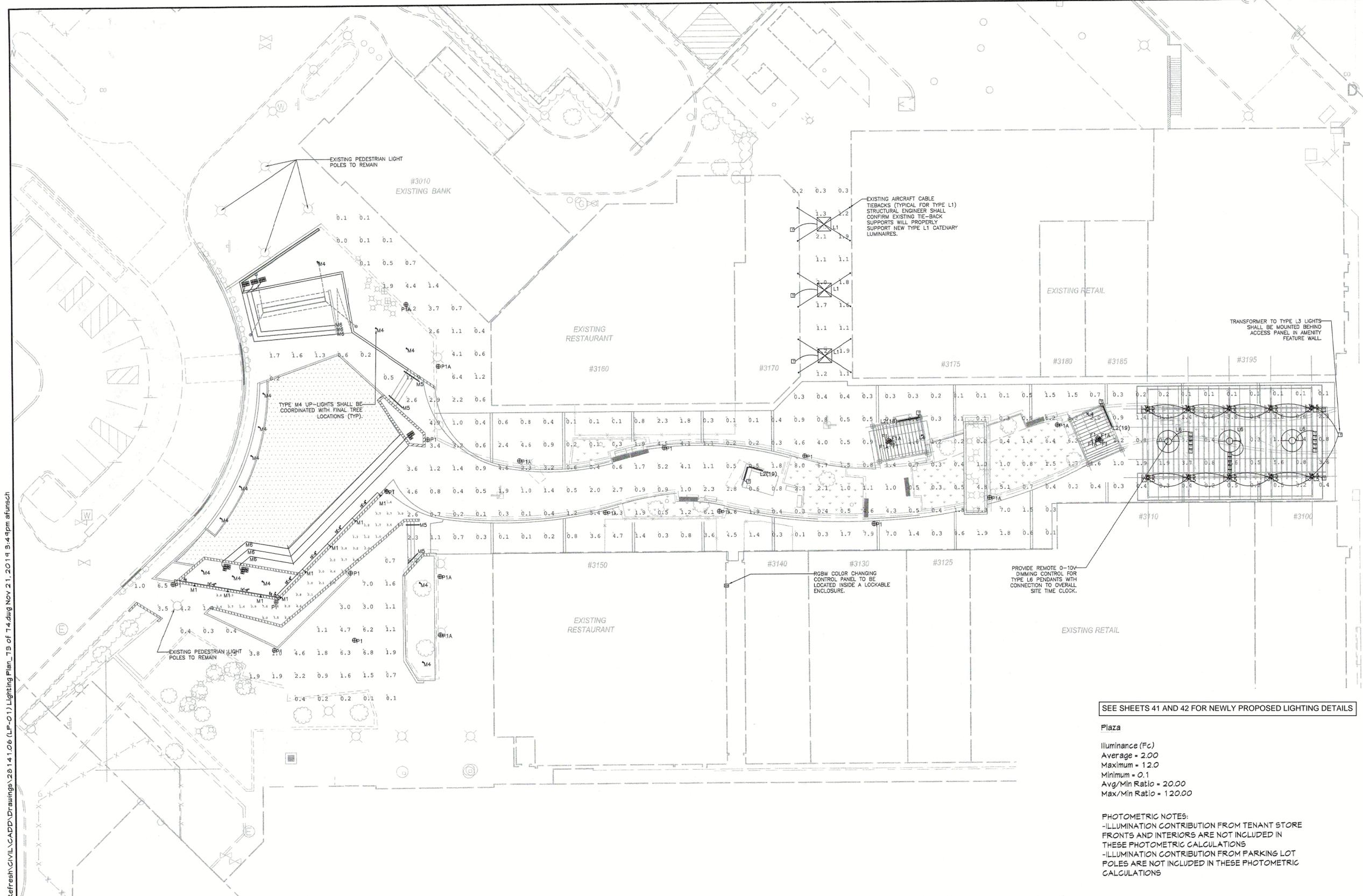


DESIGN BY:	M.J.P.			
DRAWN BY:	M.S.S.			
CHECKED BY:				
DATE:				
BY	NO.	REVISION	DATE	

**DEVELOPER**  
**BROOKFIELD PROPERTIES**  
26300 CEDAR ROAD  
BEECHWOOD, OHIO 44122  
212-417-7000



THE LIGHTING PRACTICE  
600 Chestnut Street, Suite 772  
Philadelphia, PA 19106  
215.238.1644  
www.thelightingpractice.com



S:\2008 Facilities\28 14 05 TMC Plaza Refresh\CADD\Drawings\28 14 06 (L.P.-01) Lighting Plan\_T3 of 7.dwg Nov 21, 2014 9:44pm afmsch

EXISTING PEDESTRIAN LIGHT POLES TO REMAIN

#3010 EXISTING BANK

EXISTING AIRCRAFT CABLE TIEBACKS (TYPICAL FOR TYPE L1) STRUCTURAL ENGINEER SHALL CONFIRM EXISTING TIE-BACK SUPPORTS WILL PROPERLY SUPPORT NEW TYPE L1 CATENARY LUMINAIRES.

EXISTING RESTAURANT #3160

EXISTING RETAIL #3175 #3180 #3185 #3195

TRANSFORMER TO TYPE L3 LIGHTS SHALL BE MOUNTED BEHIND ACCESS PANEL IN AMENITY FEATURE WALL.

TYPE M4 UP-LIGHTS SHALL BE COORDINATED WITH FINAL TREE LOCATIONS (TYP).

EXISTING PEDESTRIAN LIGHT POLES TO REMAIN

EXISTING RESTAURANT #3150

EXISTING RETAIL #3140 #3130 #3125

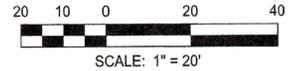
PROVIDE REMOTE 0-10V DIMMING CONTROL FOR TYPE L6 PENDANTS WITH CONNECTION TO OVERALL SITE TIME CLOCK.

RGBW COLOR CHANGING CONTROL PANEL TO BE LOCATED INSIDE A LOCKABLE ENCLOSURE.

SEE SHEETS 41 AND 42 FOR NEWLY PROPOSED LIGHTING DETAILS

Plaza  
Illuminance (Fc)  
Average = 2.00  
Maximum = 12.0  
Minimum = 0.1  
Avg/Min Ratio = 20.00  
Max/Min Ratio = 120.00

PHOTOMETRIC NOTES:  
-ILLUMINATION CONTRIBUTION FROM TENANT STORE FRONTS AND INTERIORS ARE NOT INCLUDED IN THESE PHOTOMETRIC CALCULATIONS  
-ILLUMINATION CONTRIBUTION FROM PARKING LOT POLES ARE NOT INCLUDED IN THESE PHOTOMETRIC CALCULATIONS



**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NUMBER: 114941 EXPIRATION DATE: 02-28-2021

**PLAN**  
SCALE: 1"=20'

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division	Date
Chief, Division of Land Development	Date
Director	Date

**CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY:	M.J.P.		
DRAWN BY:	M.S.S.		
CHECKED BY:			
DATE:			
BY	NO.	REVISION	DATE

DEVELOPER  
**BROOKFIELD PROPERTIES**  
26300 CEDAR ROAD  
BEECHWOOD, OHIO 44122  
212-417-7000

REVISID SITE DEVELOPMENT PLAN  
**THE MALL IN COLUMBIA**  
LIFESTYLE CENTER REFRESH  
TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
**SHEET 75 OF 95**

C.E.I. PROJECT NUMBER  
28141.06  
SCALE:

ARCHITECTURAL PLANS PREPARED BY:

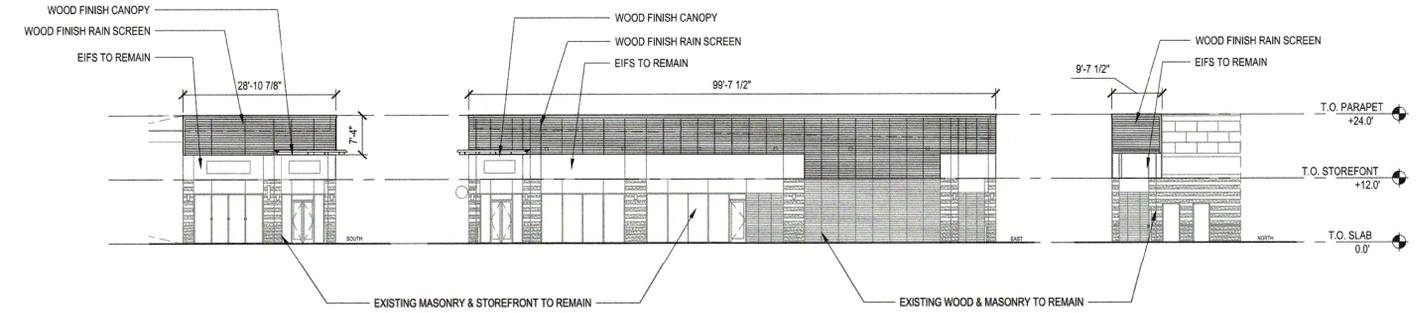


**JP2 ARCHITECTS**  
 2811 Dillon Street  
 Baltimore, MD 21224  
 443.646.8300  
 www.jp2architects.com

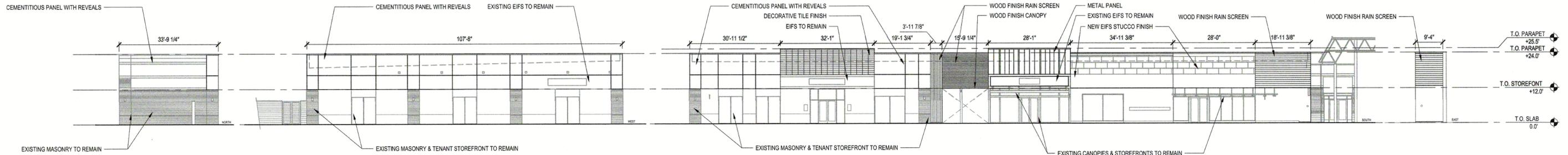
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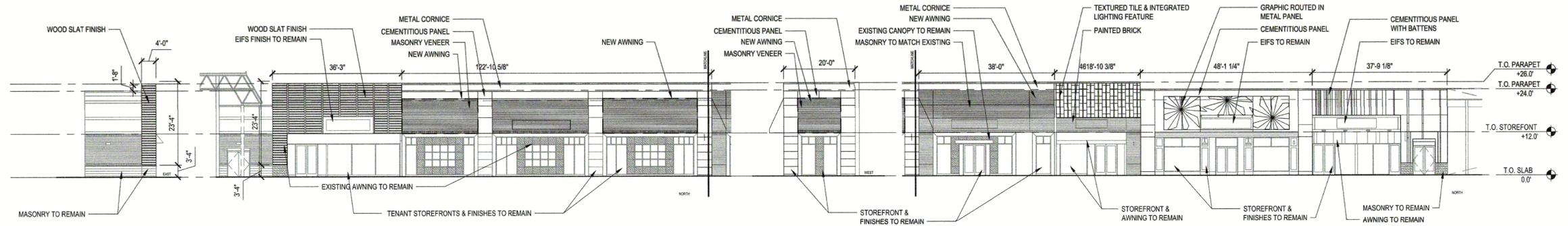
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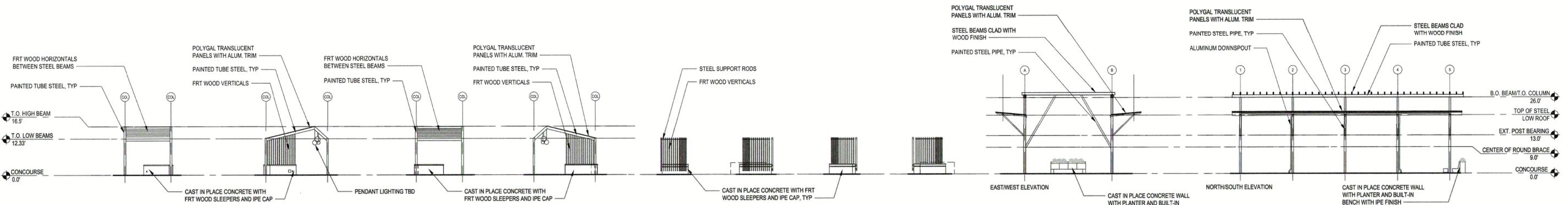
**BUILDING A ELEVATIONS**  
 SCALE: 1/16" = 1'-0"



**BUILDING B ELEVATIONS**  
 SCALE: 1/16" = 1'-0"



**BUILDING C ELEVATIONS**  
 SCALE: 1/16" = 1'-0"



**PAVILIONS 1 & 2 ELEVATIONS**  
 SCALE: 1/16" = 1'-0"

**PAVILION 3 ELEVATIONS**  
 SCALE: 1/16" = 1'-0"

**TRELLIS ELEVATIONS**  
 SCALE: 1/16" = 1'-0"

ARCHITECTURAL PLANS

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
 Director \_\_\_\_\_ Date \_\_\_\_\_

**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401



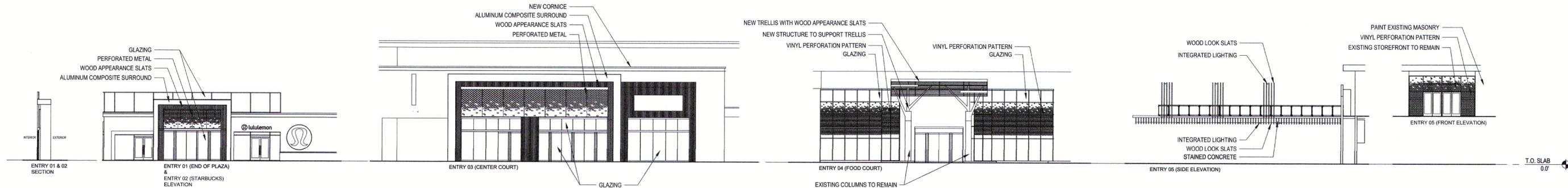
DESIGN BY:	M.J.P.		
DRAWN BY:	M.S.S.		
CHECKED BY:			
DATE:			
BY	NO.	REVISION	DATE

DEVELOPER  
**BROOKFIELD PROPERTIES**  
 26300 CEDAR ROAD  
 BEECHWOOD, OHIO 44122  
 212-417-7000

REVISED SITE DEVELOPMENT PLAN  
**THE MALL IN COLUMBIA**  
 LIFESTYLE CENTER REFRESH  
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
 SHEET 76 OF 95

C.E.I. PROJECT NUMBER 28141.06  
 SCALE: AS SHOWN

S:\2008\Facilities\28141.05\TMC\_Plaza Refresh\CIVIL\CADD\Drawings\28141.06 (ARCH-01) Architectural Plans - T6 of 74.dwg Dec 20, 2011 1:44pm afurisch



**MALL ENTRY ELEVATIONS**

SCALE: 1/16" = 1'-0"

Material	Manufacturer	Description	Source	QTY/Delivery	Remarks
 FURN 01	Kingsley Bate	Azores Sofa Color: Granite GR Cushion: 9953 Canvas Rain	Megan Pierce-Dozier Kingsley Bate 7200 Gateway Court Manassas, Va 20109 P: 703 361 7001 support@kingsleybate.com	QTY: 10 Lead Time: TBD	Pergolas and Trellis *to be anchored to ground surface by General Contractor w/ bracketing or cable/anchor
 FURN 02	Kingsley Bate	Amalfi Club Chair Code: AM25 Cushion: 9908 Fog Rain	Megan Pierce-Dozier Kingsley Bate 7200 Gateway Court Manassas, Va 20109 P: 703 361 7001 support@kingsleybate.com	QTY: 8 Lead Time: TBD	Pergolas and Trellis *to be anchored to ground surface by General Contractor w/ bracketing or cable/anchor
 FURN 03	UFL	HORM Hexagon Stool Collection: Benches and stools Color: Lecce Limestone	Domus Design Collection 136 Madison Ave New York, Ny 10016 P: 212 685 0800 service@ddcny.com	QTY: 17 Lead Time: TBD	Pergolas and Trellis
 FURN 04	UFL	HORM Hexagon Stool Collection: Benches and stools Color: Lecce Limestone	Domus Design Collection 136 Madison Ave New York, Ny 10016 P: 212 685 0800 service@ddcny.com	QTY: 9 Lead Time: TBD	Pergolas and Trellis
 FURN 05	Landscape Forms	Bancal Bench Collection: Santa & Cole Color: Silver paint, DSTMA wood (ASH) Code: 88" Backed Size: 23" x 88" x 31"	Kyle Verseman Landscape Forms P: 800-430-6206	QTY: 14 Lead Time: 7 weeks for quantities over 10. Add 2 weeks for custom powdercoat colors	Adjacent to Plaza walkways

**SEATING DETAILS & SPECIFICATIONS**

N.T.S.

ARCHITECTURAL PLANS PREPARED BY:



**JP2 ARCHITECTS**  
2811 Dillon Street  
Baltimore, MD 21224  
443.646.8300  
www.JP2architects.com

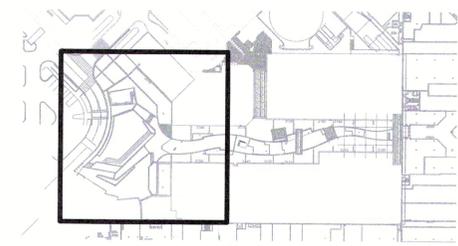
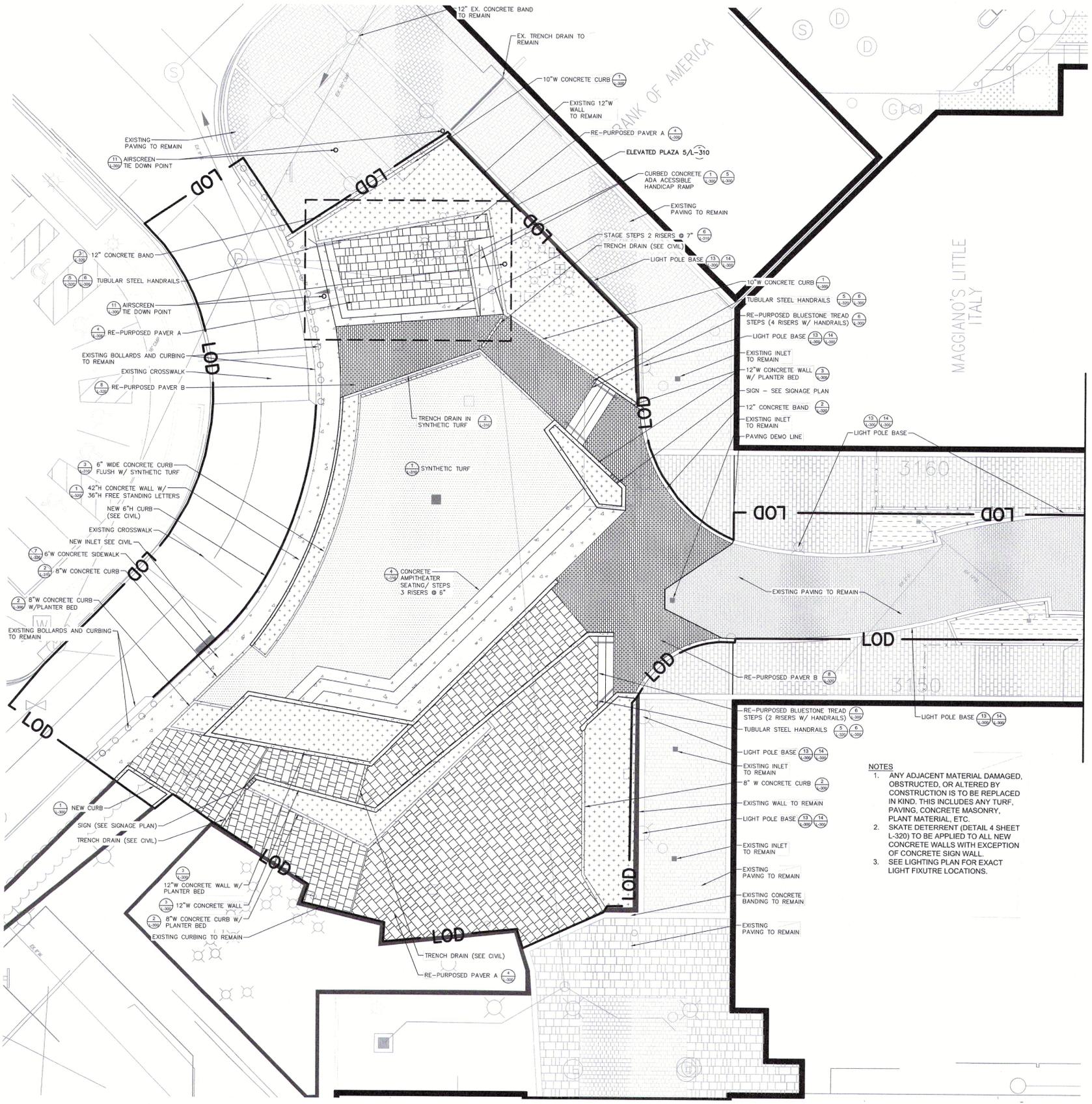
**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10551 EXPIRATION DATE: 8-28-21

<p>APPROVED: DEPARTMENT OF PLANNING AND ZONING</p> <p>Chief, Development Engineering Division _____ Date _____</p> <p>Chief, Division of Land Development _____ Date _____</p> <p>Director _____ Date _____</p>	 <b>CENTURY ENGINEERING</b> CONSULTING ENGINEERS - PLANNERS 10710 Gilroy Road, Hunt Valley, MD 21031 Phone: 443.589.2400 Fax: 443.589.2401		<p>DESIGN BY: M.J.P.</p> <p>DRAWN BY: M.S.S.</p> <p>CHECKED BY:</p> <p>DATE:</p>	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th>BY</th> <th>NO.</th> <th>REVISION</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	BY	NO.	REVISION	DATE					<p>DEVELOPER</p> <p><b>BROOKFIELD PROPERTIES</b></p> <p>26300 CEDAR ROAD BEECHWOOD, OHIO 44122 212-417-7000</p>	<p>ARCHITECTURAL PLANS</p> <p><b>REVISED SITE DEVELOPMENT PLAN</b></p> <p><b>THE MALL IN COLUMBIA</b></p> <p>LIFESTYLE CENTER REFRESH</p> <p>TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND</p> <p>SHEET 77 OF 95</p>	<p>C.E.I. PROJECT NUMBER 28141.06</p> <p>SCALE: AS SHOWN</p>
BY	NO.	REVISION	DATE												

S:\2008\Facilities\2814.05 TMC Plaza Refresh\CIVIL\CADD\Drawings\2814.06 (ARCH-02) Architectural Plans\_T1 of T4.dwg Dec 20, 2014 2:14pm afinesch



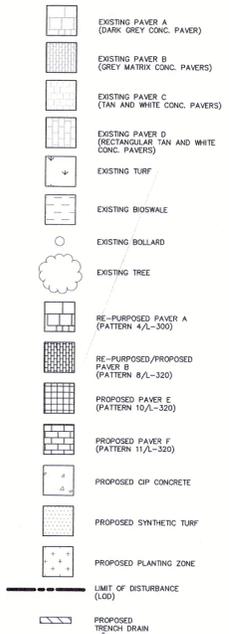
KEY MAP  
1" = 100'

GENERAL NOTES

- CONTACT 'MISS UTILITY' AT (800)552-7001 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- FIELD STAKEOUT SURVEYOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS AND NOTING ANY DISCREPANCIES BETWEEN SITE FIELD CONDITIONS AND STAKING PLAN PRIOR TO CONSTRUCTION. SHOULD ANY DISCREPANCIES BE NOTED, SURVEYOR SHALL NOTIFY OWNER PRIOR TO COMMENCEMENT OF CONSTRUCTION. LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORK PERFORMED PRIOR TO FIELD VERIFICATION OF STAKING PLAN.
- ALL WORK SHALL CONFORM TO THE PROVISIONS OF ALL APPLICABLE ORDINANCES, REGULATIONS AND ADOPTED STANDARDS OF CITY OF COLUMBIA, HOWARD COUNTY, AND STATE OF MARYLAND UNLESS WAIVED AND/OR MODIFIED UNDER SEPARATE APPLICATION. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- ALL DIMENSIONS SHOWN ARE PERPENDICULAR UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO THE FACE OF WALLS AND FROM FACE OF CURB.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL PUBLIC AND PRIVATE UNDERGROUND UTILITIES, PIPES AND STRUCTURES BY CONTACTING MISS UTILITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING WITH MATCHING MATERIALS ANY OFF-SITE PAVEMENT, PAVEMENT MARKINGS, FENCING, ETC. THAT MUST BE CUT OR REMOVED, OR THAT MAY BE DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL, AT ALL TIMES, COMPLY WITH ALL OSHA AND GOVERNING STATE SAFETY ORDERS.
- THE CONTRACTOR SHALL MAINTAIN A CLEAN WORK SITE, FREE FROM TRASH AND DEBRIS.
- THE CONTRACTOR SHALL KEEP AND MAINTAIN A SET OF PROJECT PLANS AND SPECIFICATIONS ON THE SITE AT ALL TIMES.
- ALL SALVAGEABLE ITEMS REMOVED AND NOT USED REMAIN THE PROPERTY OF THE OWNER.

MATCHLINE SEE SHEET L-110

KEY



NOTES

- ANY ADJACENT MATERIAL DAMAGED, OBSTRUCTED, OR ALTERED BY CONSTRUCTION IS TO BE REPLACED IN KIND. THIS INCLUDES ANY TURF, PAVING, CONCRETE MASONRY, PLANT MATERIAL, ETC.
- SKATE DETERRENT (DETAIL 4 SHEET L-320) TO BE APPLIED TO ALL NEW CONCRETE WALLS WITH EXCEPTION OF CONCRETE SIGN WALL.
- SEE LIGHTING PLAN FOR EXACT LIGHT FIXTURE LOCATIONS.

PLAN PREPARED BY:  
**Kimley»Horn**  
KIMLEY-HORN & ASSOCIATES, INC.  
1801 Porter St. Suite 401,  
Baltimore, MD 21230  
443.743.3470  
www.Kimley-horn.com

PROFESSIONAL CERTIFICATION

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LICENSE NUMBER: 10551 EXPIRATION DATE: 8-28-21  
MATERIALS PLAN

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division	Date
Chief, Division of Land Development	Date
Director	Date

**CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
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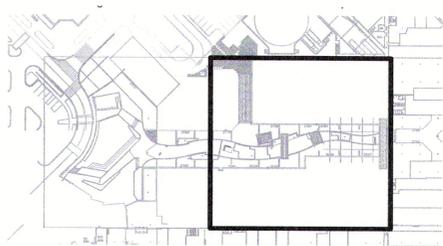
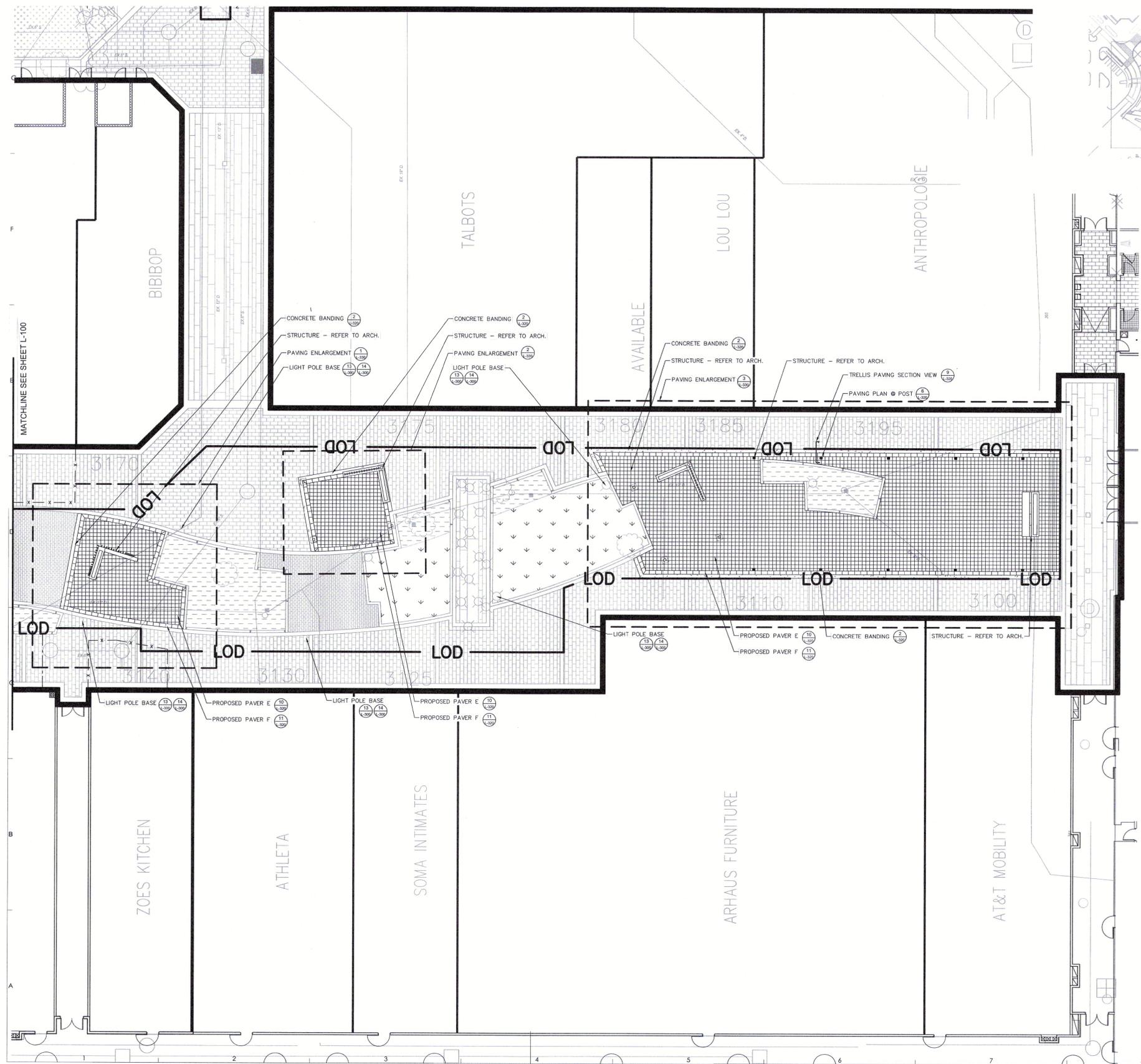


DESIGN BY:	M.J.P.			
DRAWN BY:	M.S.S.			
CHECKED BY:				
DATE:				
BY	NO.	REVISION	DATE	

DEVELOPER  
**BROOKFIELD PROPERTIES**  
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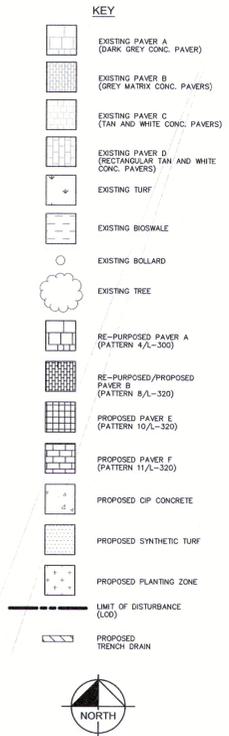
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ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
SHEET 78 OF 95

C.E.I. PROJECT NUMBER 28141.06  
SCALE: N.T.S.



KEY MAP  
1" = 100'

- NOTES
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	DATE

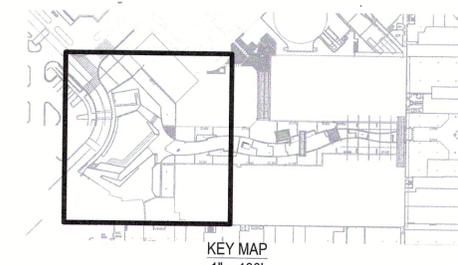
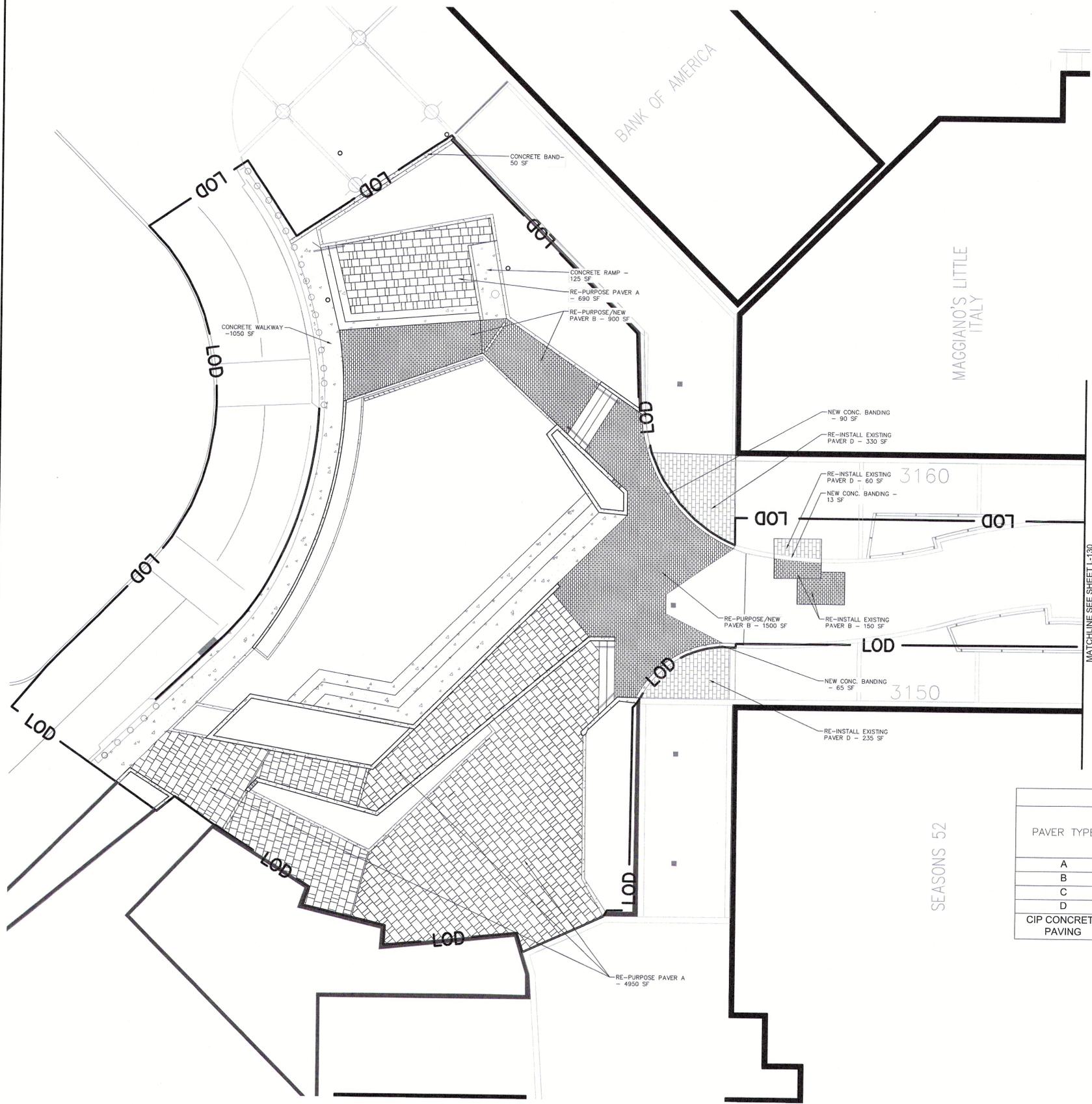
DEVELOPER  
**BROOKFIELD PROPERTIES**  
 26300 CEDAR ROAD  
 BEECHWOOD, OHIO 44122  
 212-417-7000

REVISED SITE DEVELOPMENT PLAN  
**THE MALL IN COLUMBIA**  
 LIFESTYLE CENTER REFRESH  
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
**SHEET 79 OF 95**

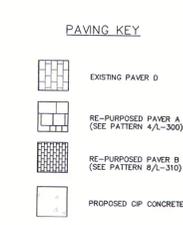
C.E.I. PROJECT NUMBER  
 28141.06  
 SCALE:  
 N.T.S.

K:\BAL\_LALP\114075000 Columbia Mall\CAD\PlanSheets\L-110 SITE PLAN.dwg Dec 20, 2019 1:18pm AnthonyLaRocca

K:\BAL\_LAI\114075000 Columbia Mall\CAD\PlanSheets\1-120 PAVING PLAN.dwg Dec 20, 2019 1:18pm Anthony.LaRocca



- NOTES**
1. ANY ADJACENT MATERIAL DAMAGED, OBSTRUCTED, OR ALTERED BY CONSTRUCTION IS TO BE REPLACED IN KIND. THIS INCLUDES ANY TURF, PAVING, CONCRETE MASONRY, PLANT MATERIAL, ETC.
  2. PAVING QUANTITIES ARE INTENDED TO SERVE AS AN APPROXIMATE GUIDE AND WERE TAKEN FROM PRE-CONSTRUCTION DRAWINGS, NOT AS-BUILTS.
  3. EXISTING PAVING NOT TO BE ALTERED HAS NOT BEEN DELINEATED ON THIS PLAN.



PAVING CHART			
PAVER TYPE	SQ. FT. NEEDED	REPURPOSED PAVERS AVAILABLE (SQ. FT.)	NEW PAVERS (SQ.FT.)
A	5,640	12,130	-
B	2,550	2,510	40
C			
D	625	2,200	
CIP CONCRETE PAVING	1,395		



PLAN PREPARED BY:  
**Kimley»Horn**  
 KIMLEY-HORN & ASSOCIATES, INC.  
 1801 Porter St. Suite 401,  
 Baltimore, MD 21230  
 443.743.3470  
 www.kimley-horn.com

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 16951 EXPIRATION DATE: 8-28-21

**PAVING PLAN**

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Director \_\_\_\_\_ Date \_\_\_\_\_

**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401

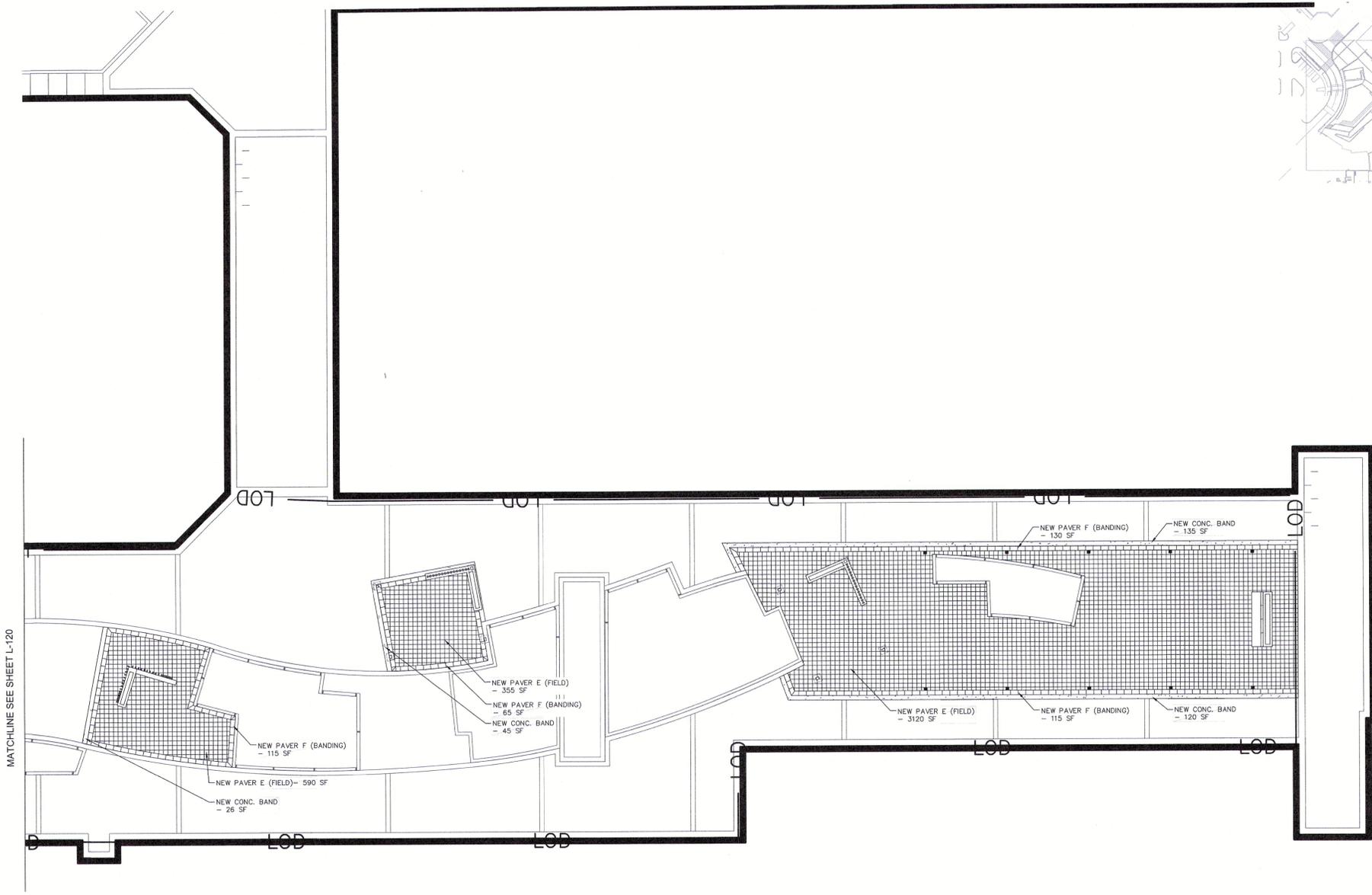
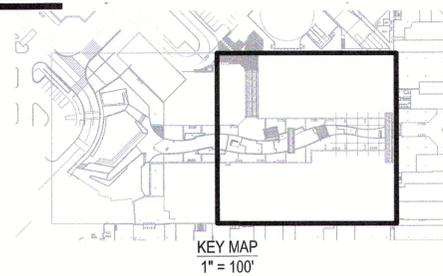


DESIGN BY:	M.J.P.			
DRAWN BY:	M.S.S.			
CHECKED BY:				
DATE:				
BY	NO.	REVISION	DATE	

DEVELOPER  
**BROOKFIELD PROPERTIES**  
 26300 CEDAR ROAD  
 BEECHWOOD, OHIO 44122  
 212-417-7000

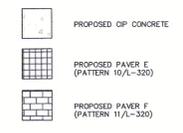
REVISED SITE DEVELOPMENT PLAN  
**THE MALL IN COLUMBIA**  
 LIFESTYLE CENTER REFRESH  
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
 SHEET **80** OF **95**

C.E.I. PROJECT NUMBER  
**28141.06**  
 SCALE:  
 N.T.S.



- NOTES**
1. ANY ADJACENT MATERIAL DAMAGED, OBSTRUCTED, OR ALTERED BY CONSTRUCTION IS TO BE REPLACED IN KIND. THIS INCLUDES ANY TURF, PAVING, CONCRETE MASONRY, PLANT MATERIAL, ETC.
  2. PAVING QUANTITIES ARE INTENDED TO SERVE AS AN APPROXIMATE GUIDE AND WERE TAKEN FROM PRE-CONSTRUCTION DRAWINGS, NOT AS-BUILTS.
  3. EXISTING PAVING NOT TO BE ALTERED HAS NOT BEEN DELINEATED ON THIS PLAN.

**PAVING KEY**



PAVING CHART			
PAVER TYPE	SQ. FT. NEEDED	REPURPOSED PAVERS AVAILABLE (SQ. FT.)	NEW PAVERS
A			
B			
E	4065	-	4065
F	295	-	295
CIP CONCRETE PAVING	326		



PLAN PREPARED BY:  
**Kimley»Horn**  
 KIMLEY-HORN & ASSOCIATES, INC.  
 1801 Porter St. Suite 401,  
 Baltimore, MD 21230  
 443.743.3470  
 www.kimley-horn.com

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10551 EXPIRATION DATE: 9-28-21

**PAVING PLAN**

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
 Director \_\_\_\_\_ Date \_\_\_\_\_

**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401



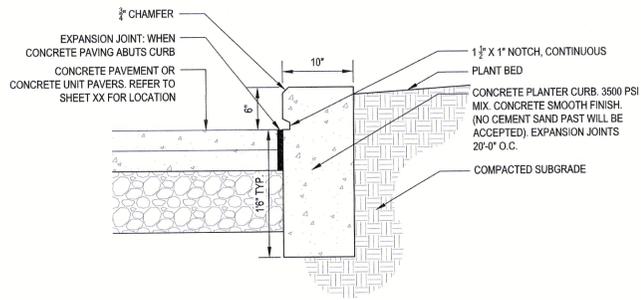
DESIGN BY: M. J. P.			
DRAWN BY: M. S. S.			
CHECKED BY:			
DATE:			
BY	NO.	REVISION	DATE

**DEVELOPER**  
**BROOKFIELD PROPERTIES**  
 26300 CEDAR ROAD  
 BEECHWOOD, OHIO 44122  
 212-417-7000

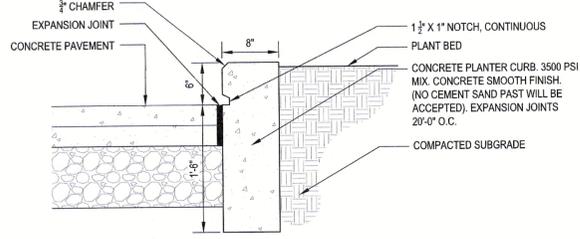
**REVISED SITE DEVELOPMENT PLAN**  
**THE MALL IN COLUMBIA**  
 LIFESTYLE CENTER REFRESH  
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
**SHEET 81 OF 95**

C.E.I. PROJECT NUMBER  
 28141.06  
 SCALE:  
 N.T.S.

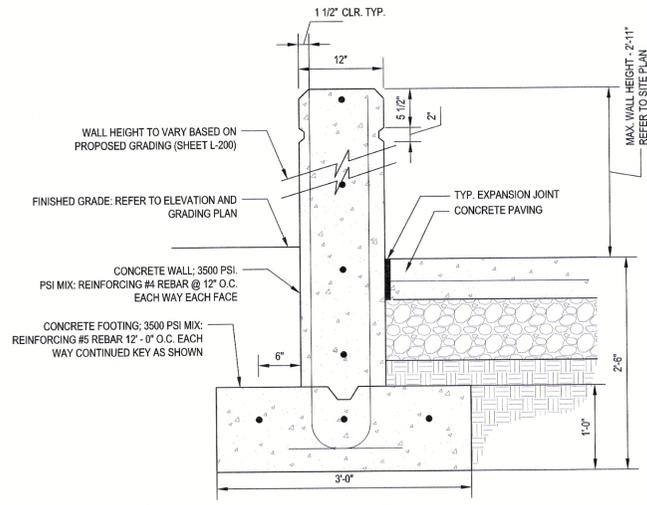
K:\BAL\_LALP\11-4075000 Columbia Mall\CAD\PlanSheets\1-130 PAVING PLAN.dwg Dec 20, 2019 1:19pm Anthony.LaRocca



TYPICAL CONCRETE PLANTER CURB - TYPE A  
1"=1'-0"

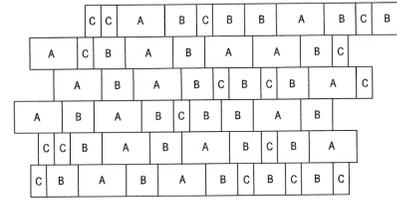


TYPICAL CONCRETE PLANTER CURB - TYPE B  
1"=1'-0"

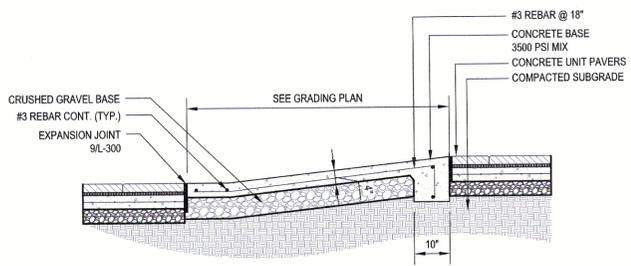


FREESTANDING WALL TYP.  
1"=1'-0"

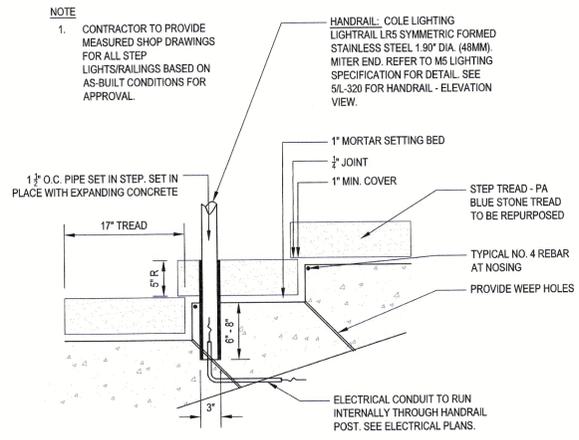
CONCRETE UNIT PAVERS: BY HANOVER PAVERS  
A 24" X 36" X 2"  
MANUFACTURE NUMBER - 1636: FIN. 13  
B 24" X 24" X 2"  
MANUFACTURE NUMBER - 2127: FIN. 13  
C 24" X 12" X 2"  
MANUFACTURE NUMBER - 1740: FIN. 13



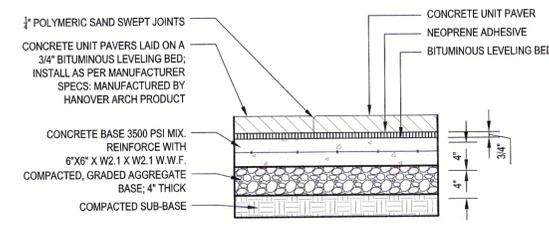
RE-PURPOSED PAVER A - PATTERN  
3/16"=1'-0"



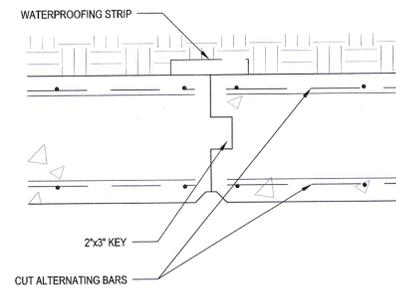
STAGE RAMP  
1/2"=1'-0"



TYPICAL STEP DETAIL  
SECTION  
1"=1'-0"



CONCRETE UNIT PAVERS ON ASPHALT BASE  
1"=1'-0"



WALL - VERTICAL CONTROL JOINT  
1-1/2"=1'-0"

NOTE  
1. CONTRACTOR TO PROVIDE MEASURED SHOP DRAWINGS FOR ALL STEP LIGHTS/RAILINGS BASED ON AS-BUILT CONDITIONS FOR APPROVAL.  
HANDRAIL: COLE LIGHTING LIGHTRAIL LRS SYMMETRIC FORMED STAINLESS STEEL 1.90" DIA. (48MM); MITER END. REFER TO M5 LIGHTING SPECIFICATION FOR DETAIL. SEE 5/L-320 FOR HANDRAIL - ELEVATION VIEW.

PLAN PREPARED BY:

**Kimley»Horn**

KIMLEY-HORN & ASSOCIATES, INC.  
1801 Porter St. Suite 401.  
Baltimore, MD 21230  
443.743.3470  
www.Kimley-horn.com

PROFESSIONAL CERTIFICATION

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LICENSE NUMBER: 16551  
EXPIRATION DATE: 8-28-21

HARDSCAPE DETAILS

REVISED SITE DEVELOPMENT PLAN  
**THE MALL IN COLUMBIA**

LIFESTYLE CENTER REFRESH  
TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
SHEET 82 OF 95

C.E.I. PROJECT NUMBER  
28141.06

SCALE:  
NOTED

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Chief, Development Engineering Division  
Chief, Division of Land Development  
Director

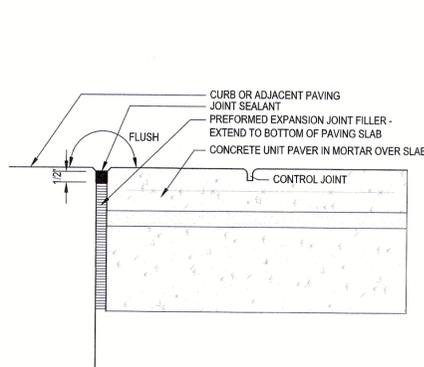
**CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401



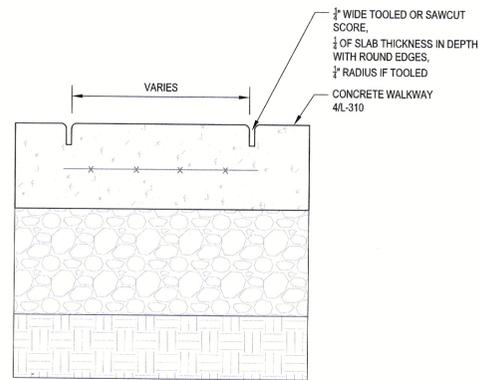
DESIGN BY: M.J.P.			
DRAWN BY: M.S.S.			
CHECKED BY:			
DATE:			
BY	NO.	REVISION	DATE

DEVELOPER  
**BROOKFIELD PROPERTIES**  
26300 CEDAR ROAD  
BEECHWOOD, OHIO 44122  
212-417-7000

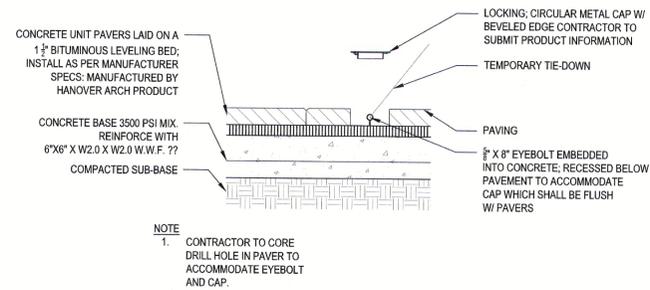
K:\BAL\_LALP\114075000 Columbia Mall\CAD\PlanSheets\1-300 HARDSCAPE DETAILS.dwg Dec 20, 2019 1:20pm Anthony.LaRocca



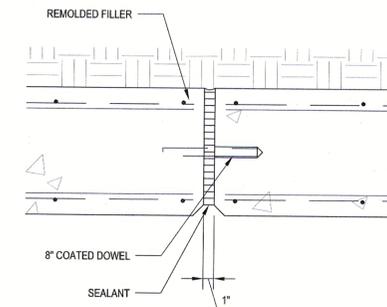
EXPANSION JOINT  
3"=1'-0"



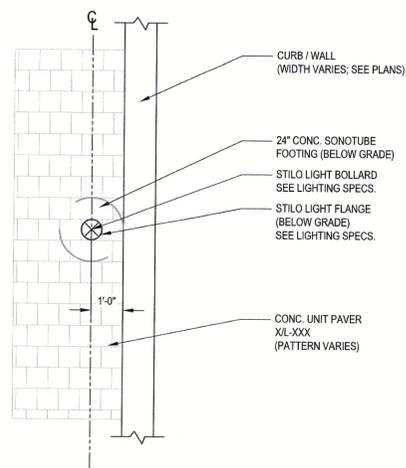
CONTROL JOINT  
3"=1'-0"



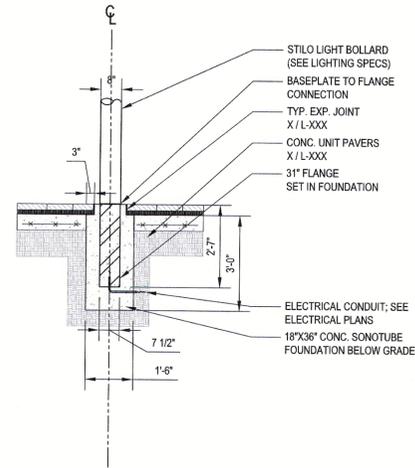
INFLATABLE TV TIE DOWN  
1"=1'-0"



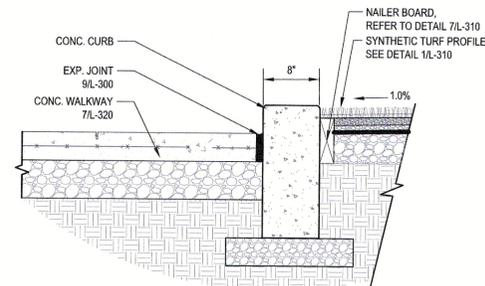
WALL - VERTICAL EXPANSION JOINT  
1-1/2"=1'-0"



POLE LIGHT BASE  
3/8" = 1'-0"



POLE LIGHT FOUNDATION  
3/8" = 1'-0"



TURF CURB AT WALKWAY  
1"=1'-0"

PLAN PREPARED BY:

**Kimley»Horn**

KIMLEY-HORN & ASSOCIATES, INC.  
1801 Porter St. Suite 401,  
Baltimore, MD 21230  
443.743.3470  
www.kimley-horn.com

PROFESSIONAL CERTIFICATION

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LICENSE NUMBER: 10551 EXPIRATION DATE: 8-26-21

HARDSCAPE DETAILS

REVISED SITE DEVELOPMENT PLAN  
THE MALL IN COLUMBIA

C.E.I. PROJECT NUMBER  
28141.06

LIFESTYLE CENTER REFRESH  
TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
SHEET 83 OF 95

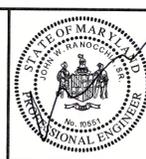
SCALE:  
NOTED

SDP-13-016

K:\BAL\_LALP\114075000 Columbia Mall\CAD\PlanSheets\1-300 HARDSCAPE DETAILS.dwg Dec 20, 2019 1:20pm AnthonyLRecca

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Chief, Development Engineering Division	Date
Chief, Division of Land Development	Date
Director	Date

**CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401

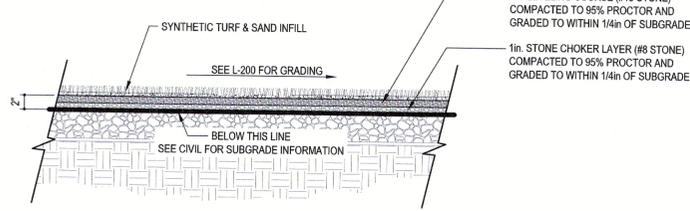


DESIGN BY: M.J.P.			
DRAWN BY: M.S.S.			
CHECKED BY:			
DATE:			
BY	NO.	REVISION	DATE

DEVELOPER  
BROOKFIELD PROPERTIES  
26300 CEDAR ROAD  
BEECHWOOD, OHIO 44122  
212-417-7000

**SYNTHETIC TURF**  
 COMPANY: SYNLAWN  
 212 NAJILES ROAD, SUITE C  
 MILLERSVILLE, MD 21108  
 CONTACT: KAITLYN LORD  
 KLORD@SYNLAWN.COM  
 (p) 443.223.3042  
 PRODUCT: SYN Augustine X47  
 1.58" PILE HEIGHT  
 1/2" SAND INFILL HEIGHT  
 (ENVIROFILL)

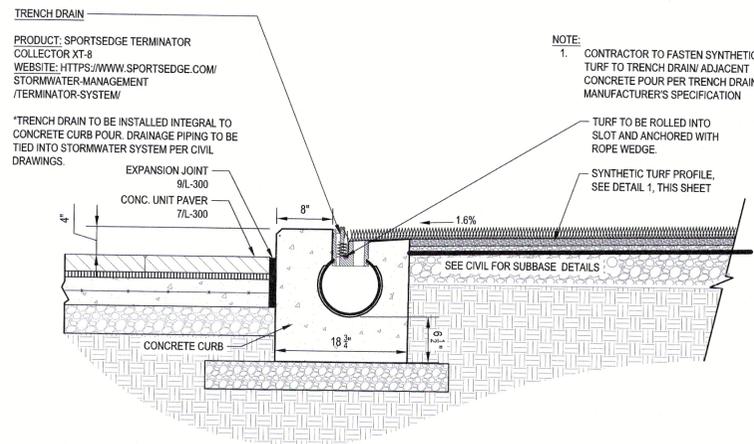
**SAND INFILL**  
 COMPANY: US GREENTECH  
 185 SOUTH INDUSTRIAL BLVD.  
 CALHOUN, GA 30701  
 CONTACT: BRAD BORGMAN  
 BBORGMAN@USGREENTECH.COM  
 (P) 650.241.2336  
 PRODUCT: ENVIROFILL  
 2 LBS PER SQUARE FOOT OR APPX 1/2" HEIGHT



**TURF NOTES:**  
 1. FOR SUBGRADE INFORMATION REFER TO CIVIL  
 2. SLOPE OF THE FINISH GRADE SHALL MATCH THE SLOPE OF THE SUBGRADE  
 3. CONTRACTOR TO SUBMIT PRODUCT DATA FOR ALL MATERIAL REQUIRED TO CONSTRUCT THE TURF AREA

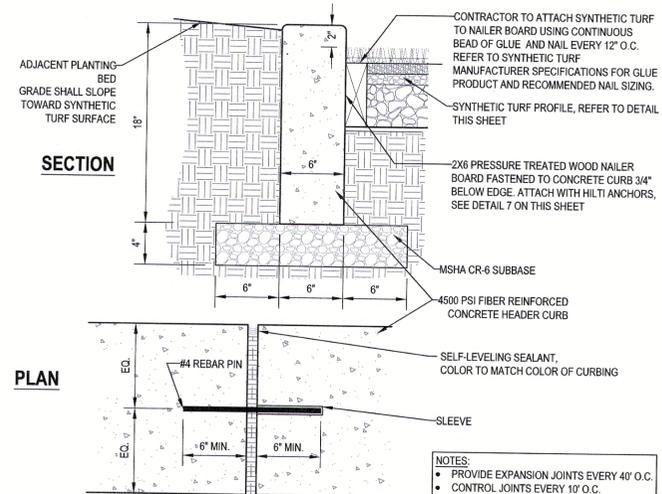
**SYNTHETIC TURF PROFILE**

1"=1'-0"



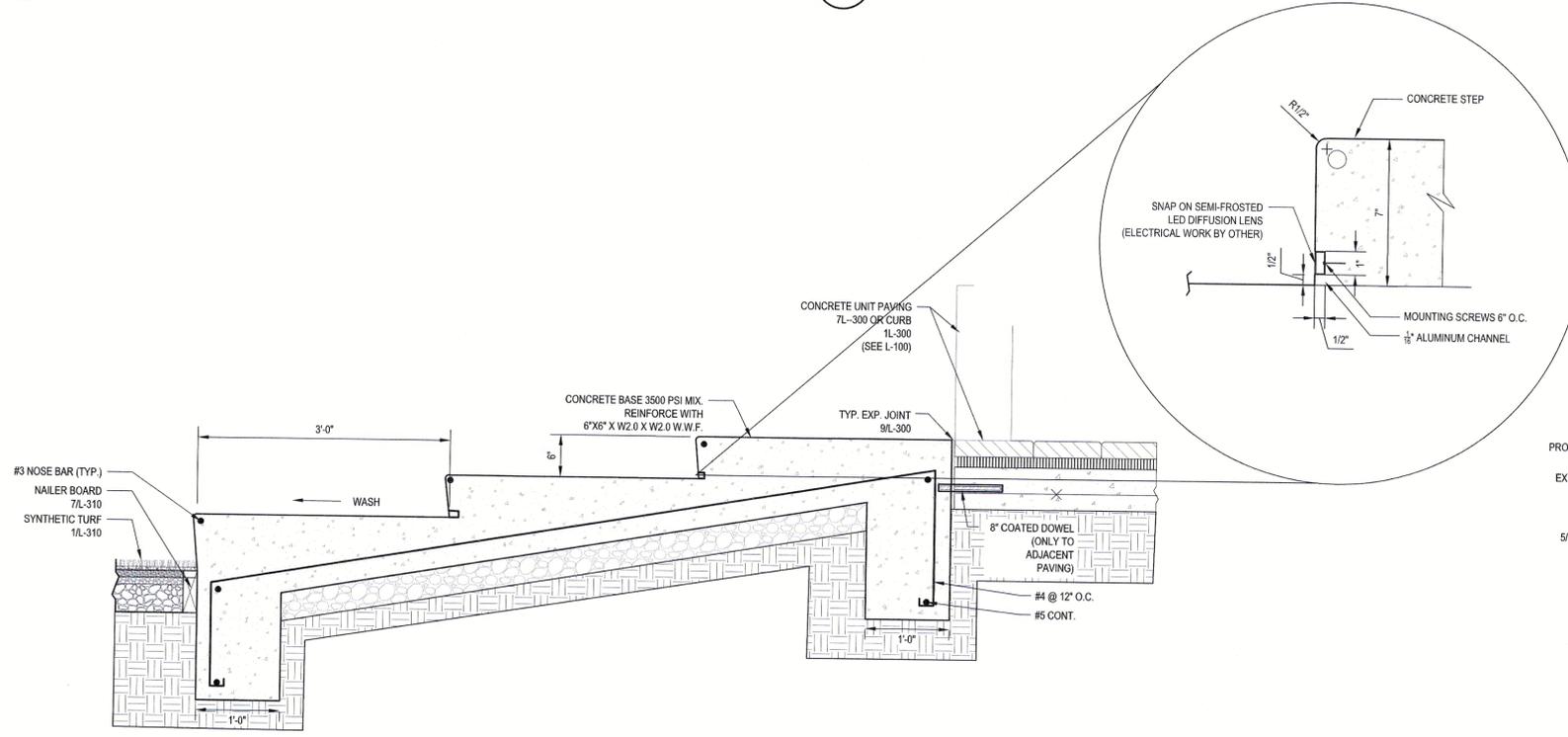
**TRENCH DRAIN IN SYNTHETIC TURF**

1"=1'-0"



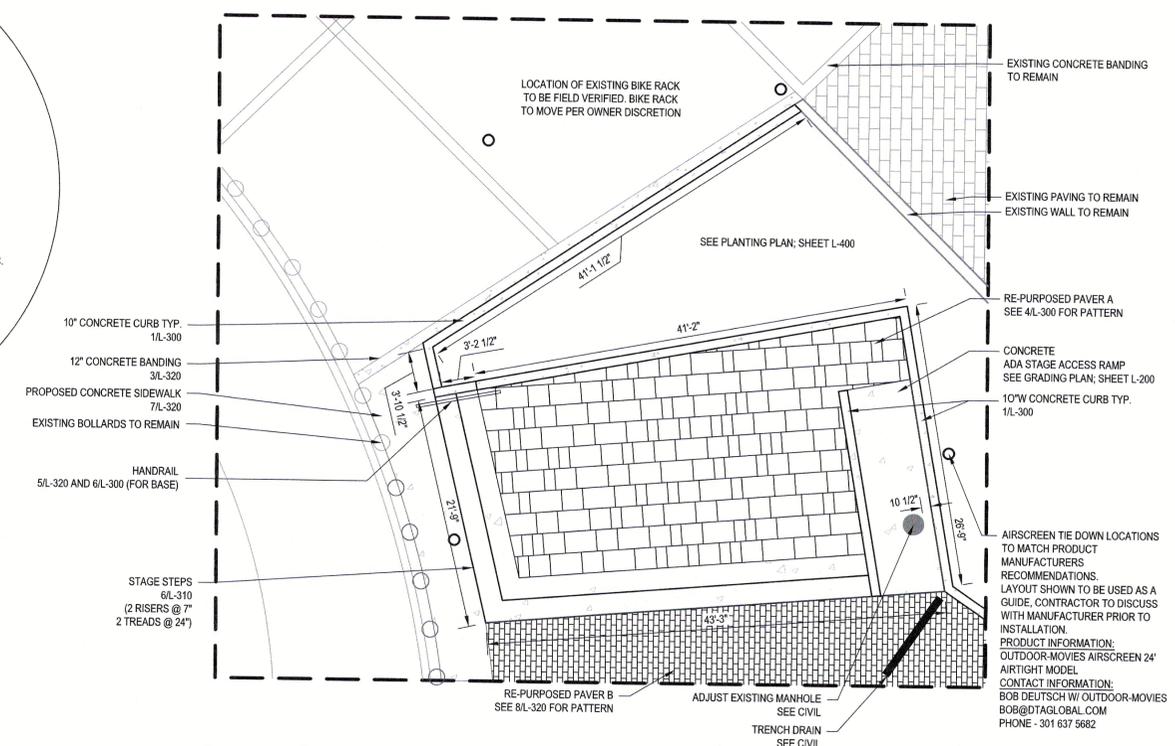
**FLUSH CONCRETE CURB AT TURF**

Scale: 1 1/2"=1'-0"



**AMPITHEATER SEATING W/ LED STRIP LIGHT**

1"=1'-0"



**ELEVATED PLAZA ENLARGEMENT**

1/8"=1'-0"

PLAN PREPARED BY:  
**Kimley»Horn**  
 KIMLEY-HORN & ASSOCIATES, INC.  
 1801 Porter St. Suite 401,  
 Baltimore, MD 21230  
 443.743.3470  
 www.kimley-horn.com

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10551

EXPIRATION DATE: 8-28-21

**HARDSCAPE DETAILS**

**REVISED SITE DEVELOPMENT PLAN  
 THE MALL IN COLUMBIA**

LIFESTYLE CENTER REFRESH  
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
 SHEET 84 OF 95

C.E.I. PROJECT NUMBER 28141.06

SCALE: NOTED

APPROVED: DEPARTMENT OF PLANNING AND ZONING

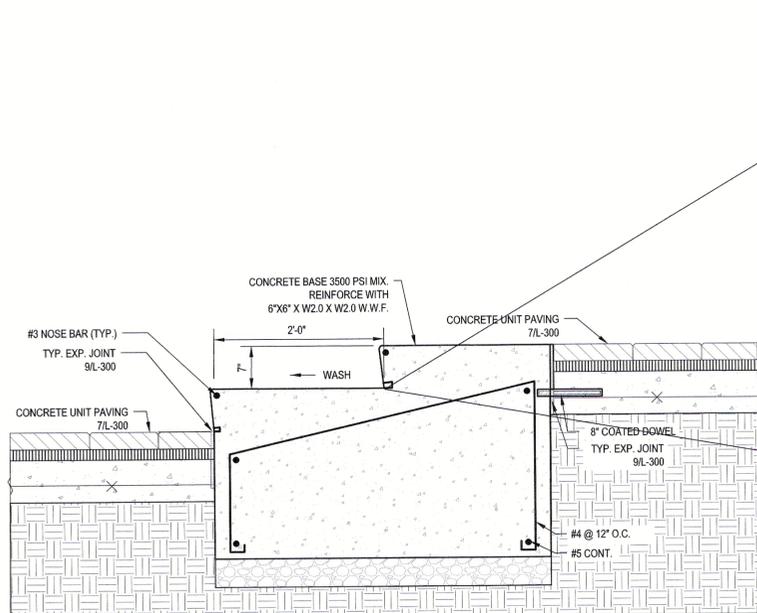
Chief, Development Engineering Division	Date
Chief, Division of Land Development	Date
Director	Date

**M CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401



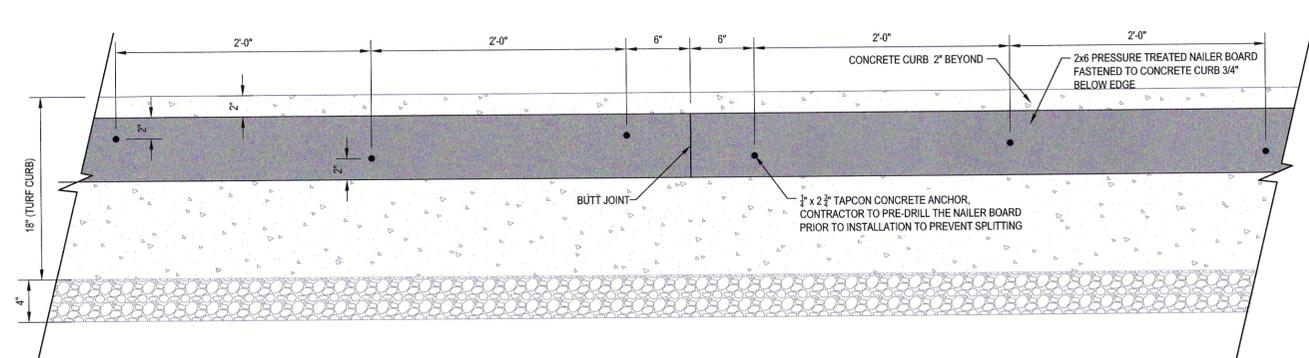
DESIGN BY: M.J.P.	
DRAWN BY: M.S.S.	
CHECKED BY:	
DATE:	
BY NO.	REVISION DATE

DEVELOPER  
**BROOKFIELD PROPERTIES**  
 26300 CEDAR ROAD  
 BEECHWOOD, OHIO 44122  
 212-417-7000



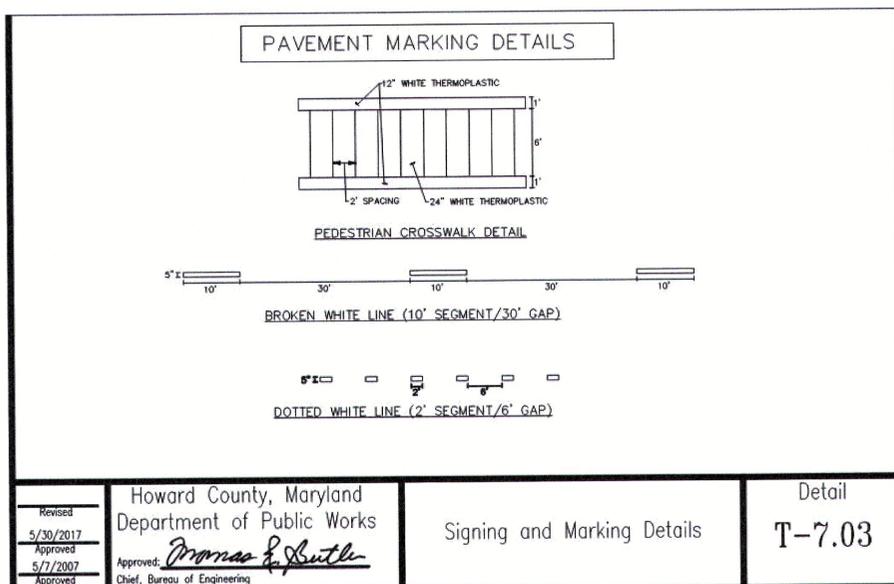
STAGE STEPS W/ LED STRIP LIGHT

1"=1'-0"



NAILER BOARD ATTACHMENT ELEVATION

1-1/2"=1'-0"



PAVEMENT MARKING DETAILS

N.T.S.

PLAN PREPARED BY:

**Kimley»Horn**

KIMLEY-HORN & ASSOCIATES, INC.  
1801 Porter St. Suite 401,  
Baltimore, MD 21230  
443.743.3470  
www.Kimley-horn.com

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 11551

EXPIRATION DATE: 8-20-21

HARDSCAPE DETAILS

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division  
Date  
Chief, Division of Land Development  
Date  
Director  
Date

**CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY: M.J.P.  
DRAWN BY: M.S.S.  
CHECKED BY:  
DATE:

BY	NO.	REVISION	DATE

DEVELOPER  
**BROOKFIELD PROPERTIES**

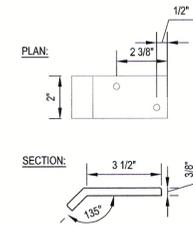
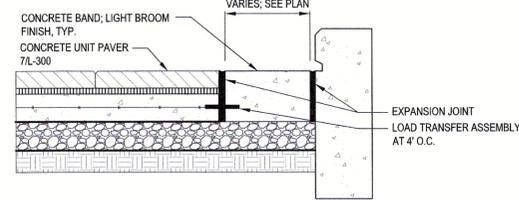
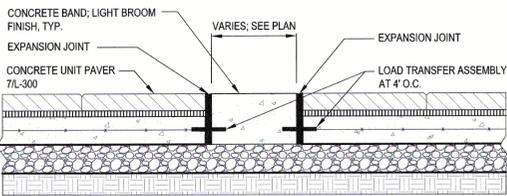
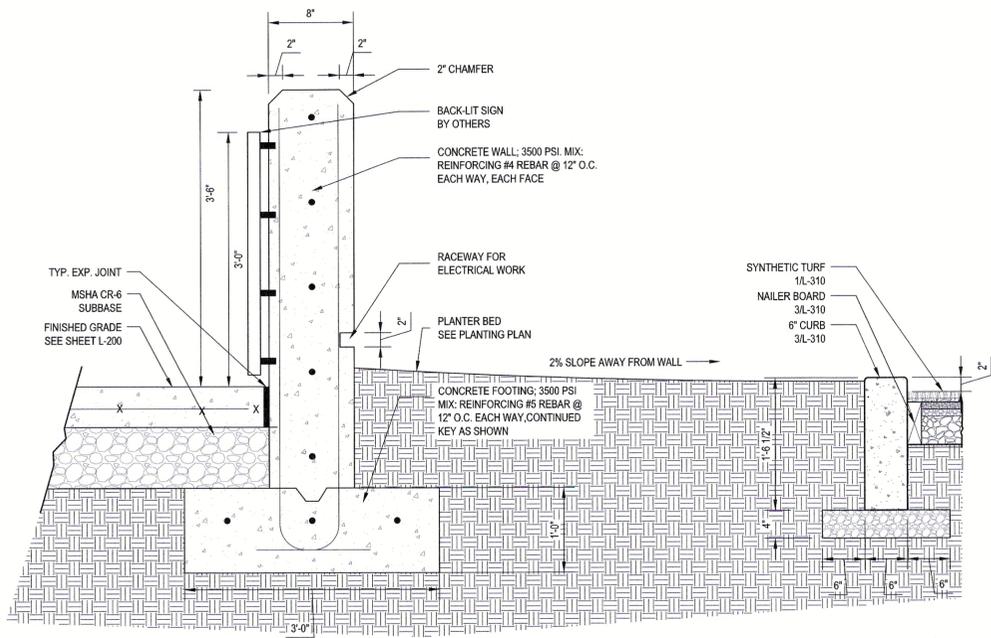
26300 CEDAR ROAD  
BEECHWOOD, OHIO 44122  
212-417-7000

REVISED SITE DEVELOPMENT PLAN  
**THE MALL IN COLUMBIA**

LIFESTYLE CENTER REFRESH  
TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
SHEET 85 OF 95

C.E.I. PROJECT NUMBER  
28141.06

SCALE:  
NOTED



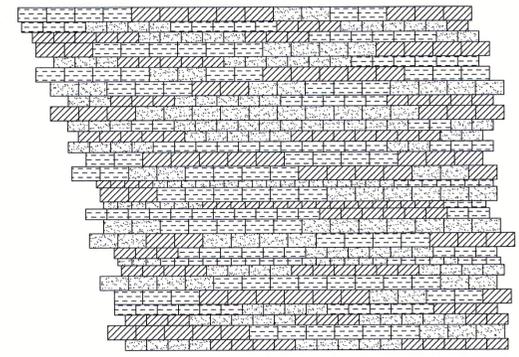
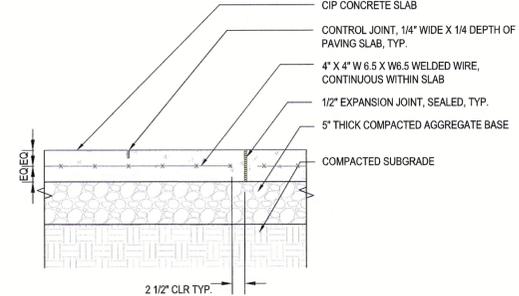
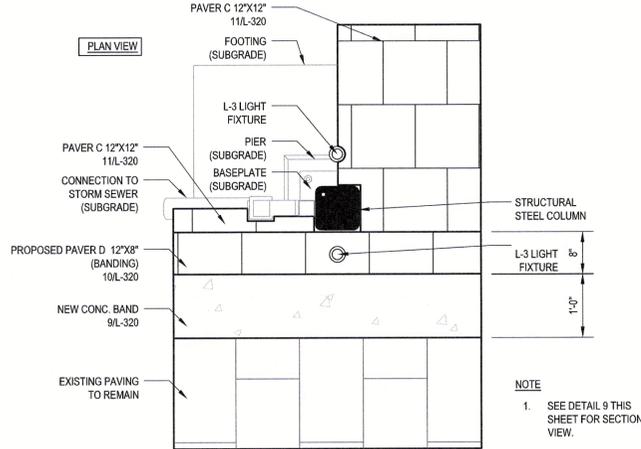
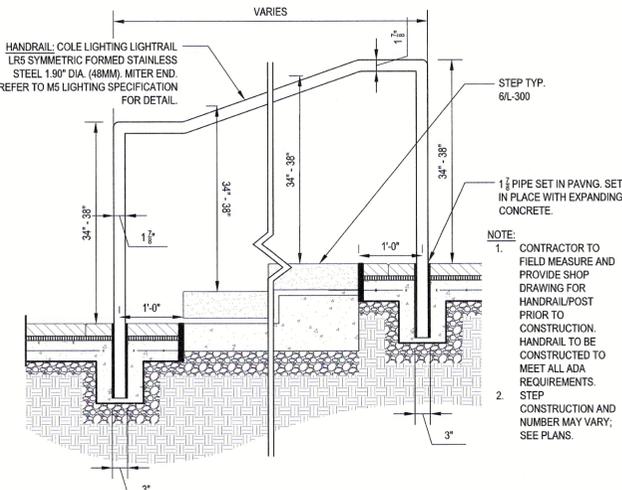
**PRODUCT INFO:**  
**MANUFACTURER:** PARK WAREHOUSE  
**PRODUCT:** FA135 SKATE STOPPER  
**MATERIAL:** 6061-T6 ALUMINUM  
**FINISH:** HARD TUMBLED TO REMOVE ALL MACHINED AND OR CUT EDGES. TYPE II CLEAR ANODIZE.  
**PRODUCT INSTALL:**  
**ANCHORING:** ANCHORED WITH TWO OFFSET THRU HOLES FOR SMART PINS PLUS ANCHORS. USE ANCHORS IN CONJUNCTION WITH TWO-PART EPOXY.  
**SPACING:** 18" FROM END OF ALL WALLS AND APPROX. 36" O.C. SPACING. DO NOT APPLY AT JOINTS.

**1 SIGN WALL SECTION**  
1"=1'-0"

**2 CONCRETE BAND**  
1"=1'-0"

**3 CONCRETE BAND @ CURB**  
1"=1'-0"

**4 SKATE DETERRENT**  
3"=1'-0"



**HANOVER CONCRETE UNIT PAVERS**

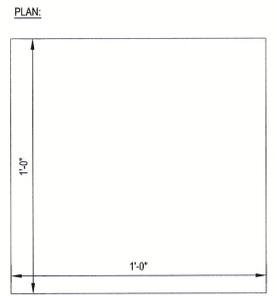
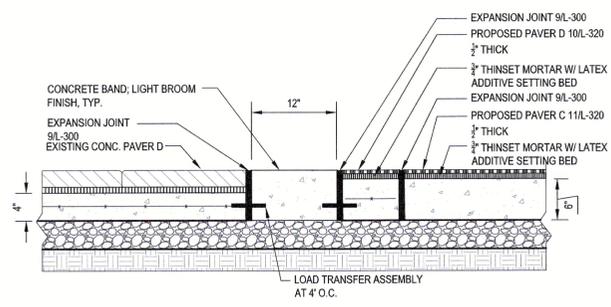
SIZE	COLOR
1. 4"x8"	1. MATRIX# M1187 / FINISH 13
2. 6"x12"	2. MATRIX# M115 / FINISH 13
3. 8"x16"	3. LIMESTONE GREY TUDOR FINISH

**5 HANDRAIL - ELEVATION**  
3/4"=1'-0"

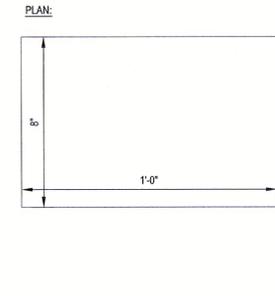
**6 PAVING AT PAVILION/TRELLIS POST**  
3/4"=1'-0"

**7 CONCRETE WALKWAY SECTION**  
3/4"=1'-0"

**8 RE-PURPOSED PAVER B - PATTERN**  
1/4"=1'-0"



**PRODUCT INFO:**  
**MANUFACTURER:** RUSTICO TILE  
**PRODUCT:** MEALU RTS13  
**MATERIAL:** CEMENT TILE  
**FINISH:** BLACK, WHITE, GREY  
**PRODUCT INSTALL:**  
**CRACK PREVENTION AND WATERPROOF MEMBRANE:** APPLY CREST 2510 ACRYLIC MEMBRANE TO TILE PER MANUFACTURERS INSTRUCTIONS IN ORDER TO PREVENT CRACKING. APPLY AT 30MM WET FILM THICKNESS. MANUFACTURER TO PROVIDE BEST INSTALLATION PRACTICE FOR OUTDOOR APPLICATION.



**PRODUCT INFO:**  
**MANUFACTURER:** RUSTICO TILE  
**PRODUCT:** SOLID COLOR TILE S-101; 12" X 8" X 3/4"  
**MATERIAL:** CEMENT TILE  
**FINISH:** BLACK  
**PRODUCT INSTALL:**  
**CRACK PREVENTION AND WATERPROOF MEMBRANE:** APPLY CREST 2510 ACRYLIC MEMBRANE TO TILE PER MANUFACTURERS INSTRUCTIONS IN ORDER TO PREVENT CRACKING. APPLY AT 30MM WET FILM THICKNESS. MANUFACTURER TO PROVIDE BEST INSTALLATION PRACTICE FOR OUTDOOR APPLICATION.

**9 TRELLIS PAVING SECTION**  
1"=1'-0"

**10 PAVER 'E'**  
3"=1'-0"

**11 PAVER 'F'**  
3"=1'-0"

PLAN PREPARED BY:  
**Kimley»Horn**  
**KIMLEY-HORN & ASSOCIATES, INC.**  
 1801 Porter St. Suite 401,  
 Baltimore, MD 21230  
 443.743.3470  
 www.kimley-horn.com

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10551  
 EXPIRATION DATE: 8-28-21  
**HARDSCAPE DETAILS**

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division	Date
Chief, Division of Land Development	Date
Director	Date

**M CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY:	M. J. P.		
DRAWN BY:	M. S. S.		
CHECKED BY:			
DATE:			
BY	NO.	REVISION	DATE

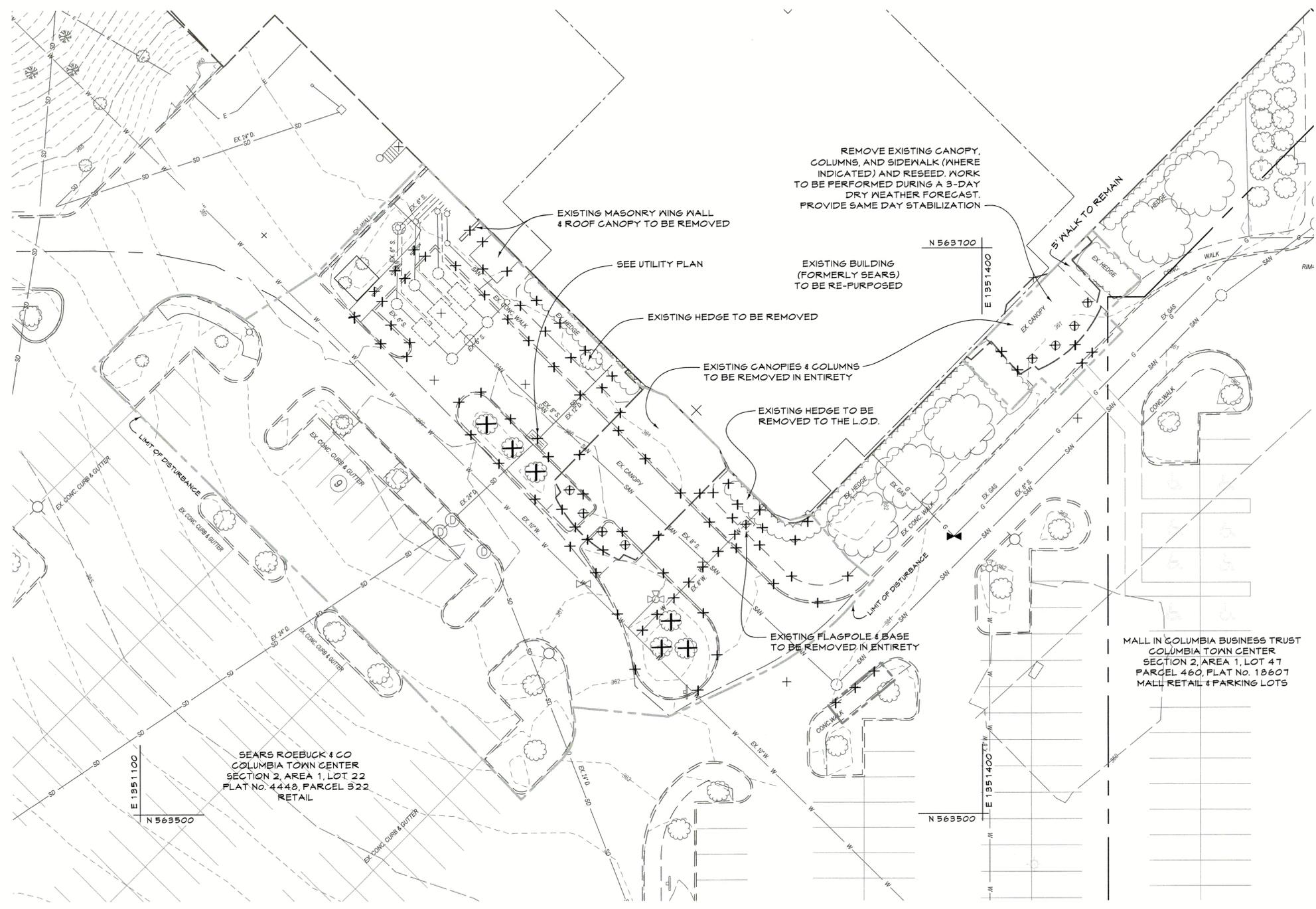
DEVELOPER  
**BROOKFIELD PROPERTIES**  
 26300 CEDAR ROAD  
 BEECHWOOD, OHIO 44122  
 212-417-7000

REVISED SITE DEVELOPMENT PLAN  
**THE MALL IN COLUMBIA**  
 LIFESTYLE CENTER REFRESH  
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
**SHEET 86 OF 95**

C.E.I. PROJECT NUMBER  
 28141.06  
 SCALE:  
 NOTED

**LEGEND**

- Existing Minor Contour
- - - Existing Major Contour
- - - Existing Edge of Paving
- Av --- Soil Line
- SD --- Existing Storm Drain and Inlet
- W --- Existing Water and Fire Hydrant
- SAW --- Existing Sewer
- Existing Curb and Gutter
- E --- Existing Underground Electric
- OHE --- Existing Overhead Electric
- FO --- Existing Fiber Optic
- CTV --- Existing Cable Television
- G --- Existing Gas and Valve
- BGE#542497 --- Existing BGE Light Pole
- Existing Sign
- Existing Electric Structure
- X-X-X --- Existing Fence Line
- Existing Retaining Wall
- Existing Tree Line
- Existing Drive
- Existing Building
- Limit of Disturbance
- X X X --- Curbs, Trees and Canopies To Be Demolished



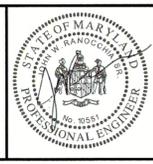
**PLAN**  
SCALE: 1"=20'

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 LICENSE NUMBER: 10551      EXPIRATION DATE: 8-28-21

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division	Date
Chief, Division of Land Development	Date
Director	Date

**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY:	M.J.P.		
DRAWN BY:	M.S.S.		
CHECKED BY:			
DATE:			
BY	NO.	REVISION	DATE

**DEVELOPER**  
**BROOKFIELD PROPERTIES**  
 26300 CEDAR ROAD  
 BEECHWOOD, OHIO 44122  
 212-417-7000

**DEMOLITION PLAN**  
 REVISED SITE DEVELOPMENT PLAN  
**THE MALL IN COLUMBIA**  
 SEARS - LOWER LEVEL COLUMBIA TOWN CENTER  
 TAX MAP: 30.36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
**SHEET 87 OF 95**

C.E.I. PROJECT NUMBER  
 28141.06  
 SCALE:

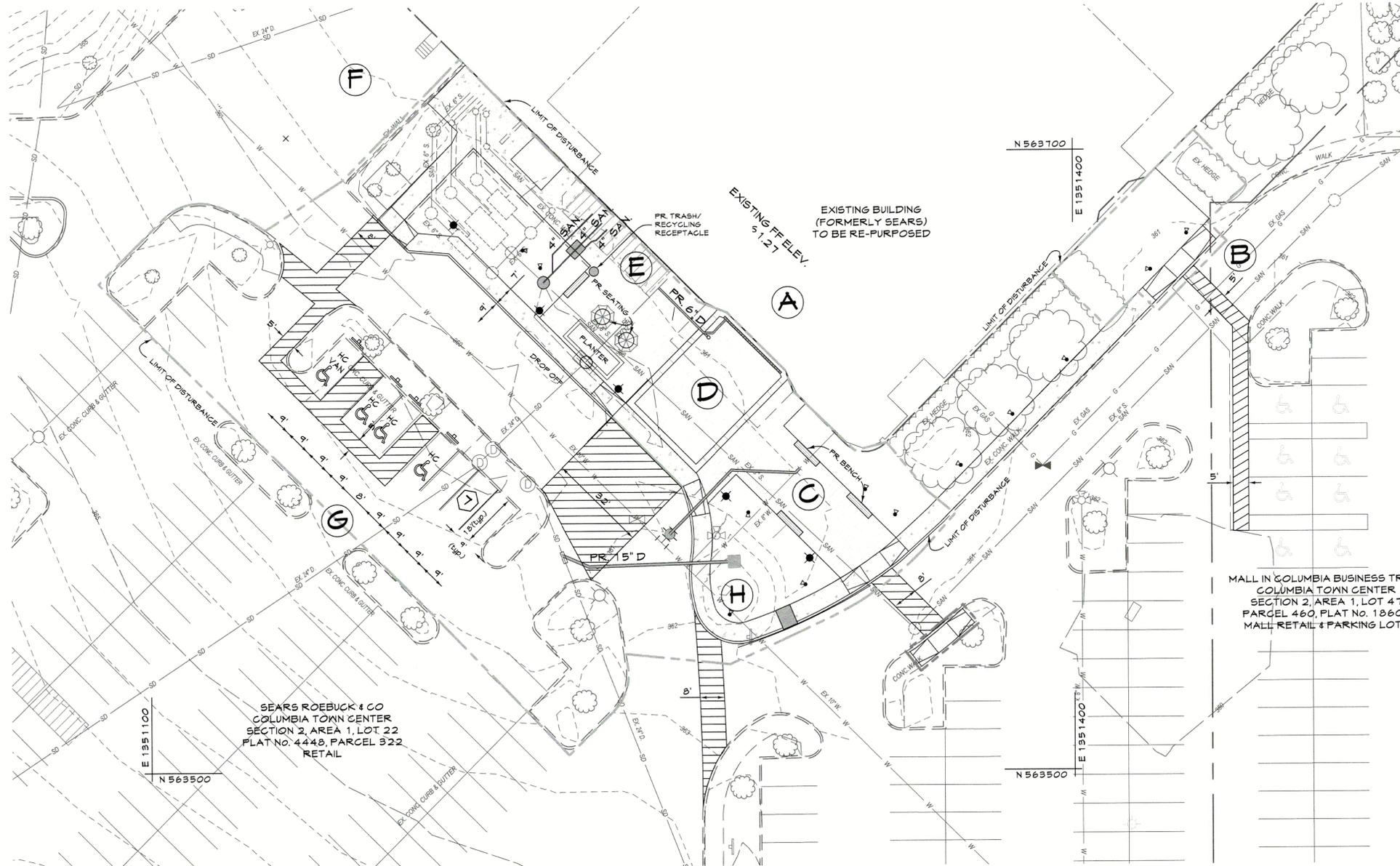
**LEGEND**

- Existing Minor Contour
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- - - Existing Edge of Paving
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- SD --- Existing Storm Drain and Inlet
- W --- Existing Water and Fire Hydrant
- SAW --- Existing Sewer
- Existing Curb and Gutter
- E --- Existing Underground Electric
- OHE --- Existing Overhead Electric
- FO --- Existing Fiber Optic
- CTV --- Existing Cable Television
- G --- Existing Gas and Valve
- BOE542497 --- Existing B&E Light Pole
- Existing Sign
- Existing Electric Structure
- X - X - X --- Existing Fence Line
- Existing Retaining Wall
- Existing Tree Line
- Existing Drive
- Existing Building
- - - Limit of Disturbance
- - - Limit of field run topo
- PR 8" S. --- Proposed Sewer
- PR 8" W. --- Proposed Water and Fire Hydrant
- PR 15" D. --- Proposed Storm Drain and Inlets
- Proposed Curb and Gutter
- Proposed Retaining Wall
- Proposed Edge of Pavement
- Proposed Sidewalk
- Proposed Lighting

LIMITS OF DISTURBANCE = 0.70 acres

**SITE DEVELOPMENT PLAN NOTES**

The color of the exterior building elevations will be selected by the tenants at a later date. The tenants will be made aware of the DAP motions on building design. DPZ will be notified at the appropriate time to review the tenant's proposed exterior color choices for comparison against the DAP motions. All tenants will coordinate together to ensure that the exterior paint colors will terminate in a logical manner.



**PLAN**

SCALE: 1"=20'

**SITE FEATURES**

- A - EXISTING SEARS BUILDING
- B - ADA ACCESSIBILITY
- C - ACCENT PAVING 2
- D - ACCENT PAVING 1
- E - CART STORAGE
- F - TO REMAIN
- G - RECONFIGURE PARKING
- H - SWM ESD FACILITY



- MODEL: POE
- SIZE: 28" x 38"
- COLOR: SILVER POWDERCOAT W/ SATIN CLEAR COAT
- SURFACE MOUNT PER MANUFACTURER SPECS

- RECYCLING RECEPTACLE TO MATCH LITTER RECEPTACLE WITH GRAPHIC TO INDICATE RECYCLING FUNCTION

LANDSCAPE FORMS, INC.  
431 LAWNDALE AVE.  
KALAMAZOO, MI 49048  
PHONE: (800) 430.6209  
FAX: (269) 381.3455  
WEB: www.landscapeforms.com



- MODEL: CHARLIE TABLE
- TABLE & CHAIR SET TO BE PROVIDED BY LANDSCAPE FORMS, INC.
- SURFACE MOUNT PER MANUFACTURER SPECS

LANDSCAPE FORMS, INC.  
431 LAWNDALE AVE.  
KALAMAZOO, MI 49048  
PHONE: 800.430.6209  
FAX: 269.381.3455  
WEB: www.landscapeforms.com



- MODEL: MODIFIED (SLATTED) BARBARY
- SIZE: 24" x 65" x 30"
- COLOR: BRONZE POWDERCOAT W/CLEAR COAT
- SURFACE MOUNT PER MANUFACTURER SPECS

BENCHMARK DESIGN GROUP, INC.  
486 OSCEOLA AVE JACKSONVILLE BEACH, FL 32259  
PHONE: (904) 246-5060  
FAX: (904) 246-9008  
WEB: benchmarkdesigngroup.com

Litter and Recycle Receptacle

N.T.S.

Table/Chair Set

N.T.S.

Bench

N.T.S.

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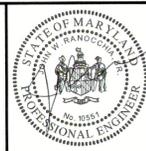
LICENSE NUMBER: 10951 EXPIRATION DATE: 6-28-21

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_  
Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
Director \_\_\_\_\_ Date \_\_\_\_\_

**CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS

10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY: M.J.P.  
DRAWN BY: M.S.S.  
CHECKED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

BY	NO.	REVISION	DATE

DEVELOPER  
**BROOKFIELD PROPERTIES**

26300 CEDAR ROAD  
BEECHWOOD, OHIO 44122  
212-417-7000

**SITE DEVELOPMENT PLAN**

REVISED SITE DEVELOPMENT PLAN  
**THE MALL IN COLUMBIA**

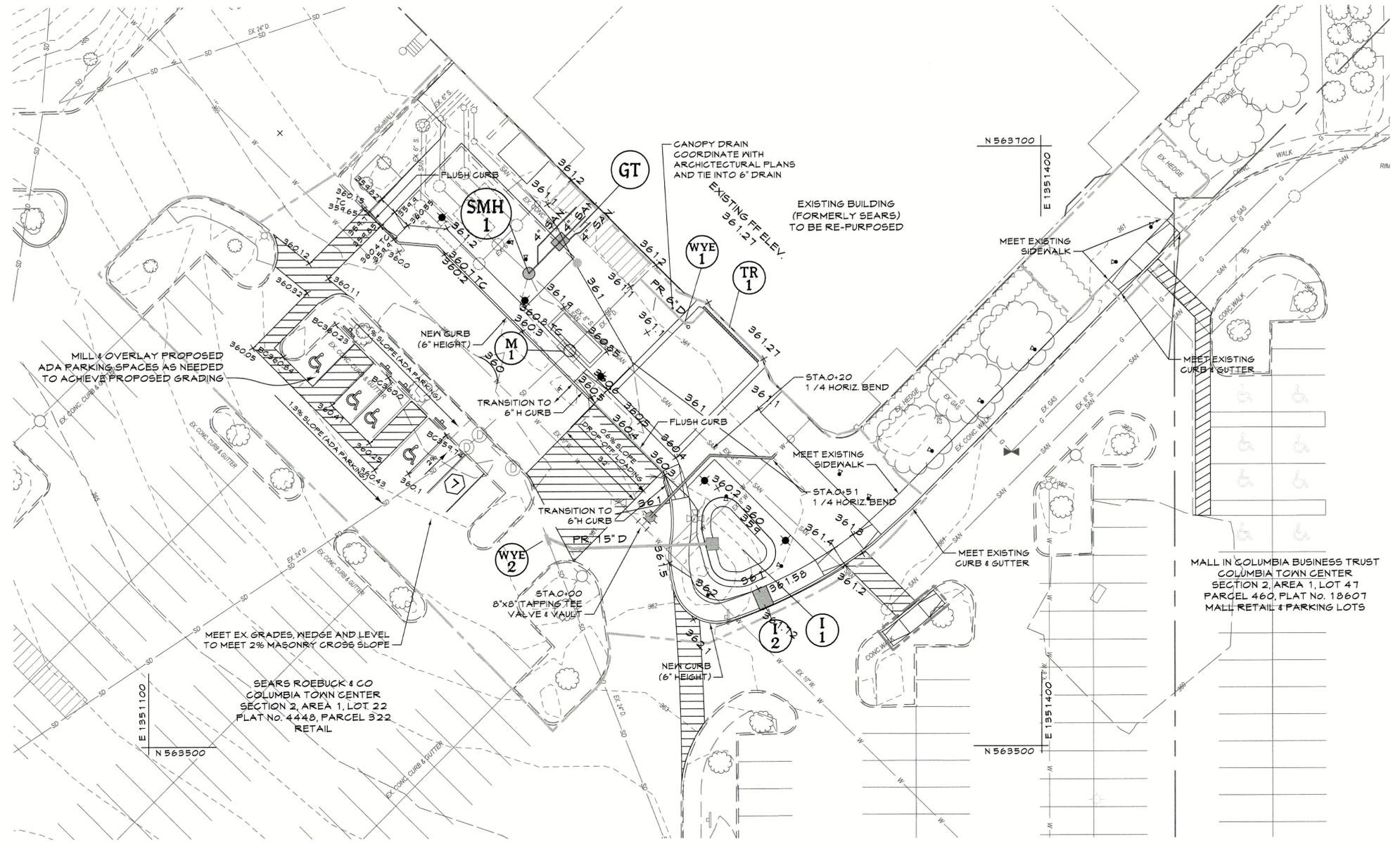
SEARS - LOWER LEVEL COLUMBIA TOWN CENTER  
TAX MAP: 30, 36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
SHEET 88 OF 95

C.E.I. PROJECT NUMBER  
28141.06

SCALE:

**LEGEND**

- Existing Minor Contour
- - - Existing Major Contour
- - - Existing Edge of Paving
- Av --- Soil Line
- SD --- Existing Storm Drain and Inlet
- W --- Existing Water and Fire Hydrant
- SAN --- Existing Sewer
- Existing Curb and Gutter
- E --- Existing Underground Electric
- DHE --- Existing Overhead Electric
- Existing Fiber Optic
- CTV --- Existing Cable Television
- G --- Existing Gas and Valve
- BGE#542497 --- Existing B&E Light Pole
- Existing Sign
- Existing Electric Structure
- X-X-X --- Existing Fence Line
- Existing Retaining Wall
- Existing Tree Line
- Existing Drive
- Existing Building
- Limit of Disturbance
- Limit of field run topo
- FR 8" S --- Proposed Sewer
- FR 8" W --- Proposed Water and Fire Hydrant
- FR 15" D --- Proposed Storm Drain and Inlets
- Proposed Curb and Gutter
- Proposed Retaining Wall
- Proposed Edge of Pavement
- Proposed Sidewalk
- Proposed Lighting
- 660 --- Proposed Grades
- 650 --- Proposed Spot Elevations
- + 36 1.1 --- Proposed Spot Elevations



**PLAN**

SCALE: 1"=20'

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10551      EXPIRATION DATE: 8-28-21

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Chief, Development Engineering Division	Date
Chief, Division of Land Development	Date
Director	Date

**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401

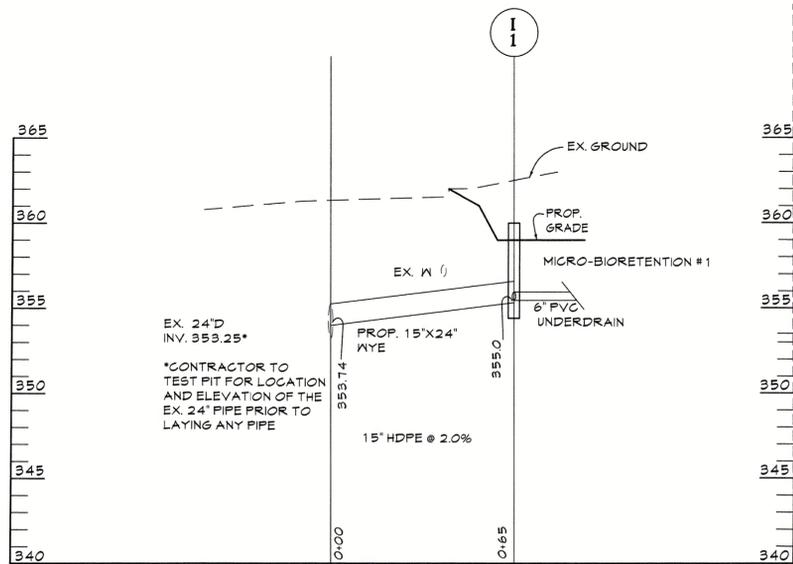


DESIGN BY:	M.J.P.		
DRAWN BY:	M.S.S.		
CHECKED BY:			
DATE:			
BY	NO.	REVISION	DATE

**DEVELOPER**  
**BROOKFIELD PROPERTIES**  
 26300 CEDAR ROAD  
 BEECHWOOD, OHIO 44122  
 212-417-7000

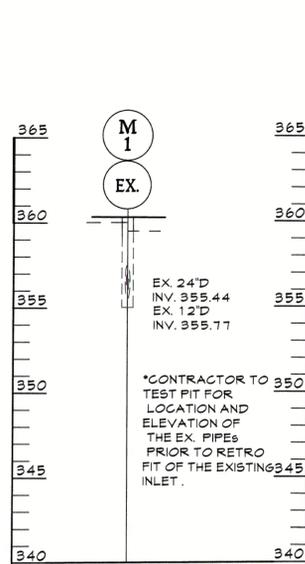
**REVISIED SITE DEVELOPMENT PLAN**  
**THE MALL IN COLUMBIA**  
 SEARS - LOWER LEVEL COLUMBIA TOWN CENTER  
 TAX MAP: 33, 36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
**SHEET 89 OF 95**

C.E.I. PROJECT NUMBER  
 28141.06  
 SCALE:



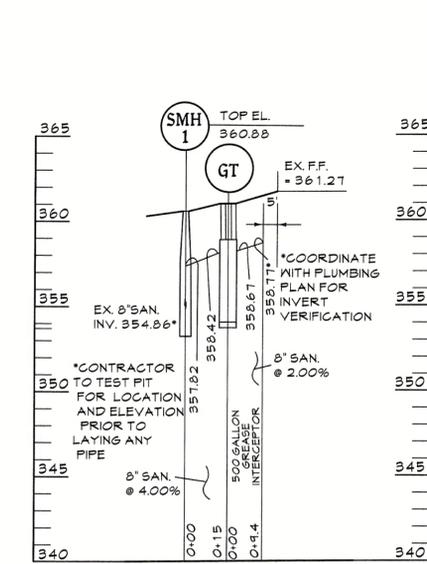
**STORM DRAIN PROFILE**

SCALE: HORIZ: 1"=30'  
VERT: 1"=5'



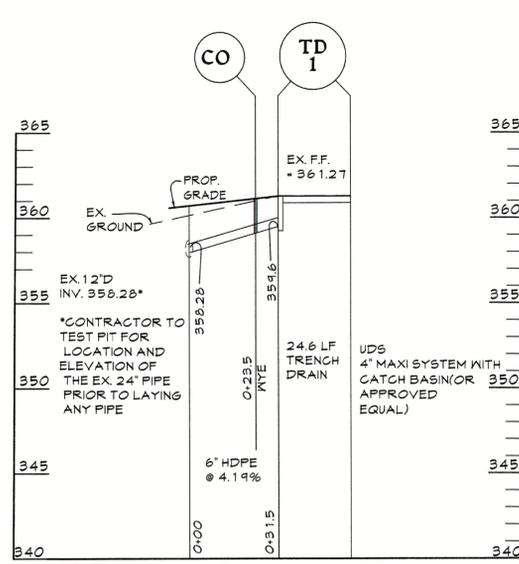
**STORM DRAIN PROFILE**

SCALE: HORIZ: 1"=30'  
VERT: 1"=5'



**SANITARY SEWER PROFILE**

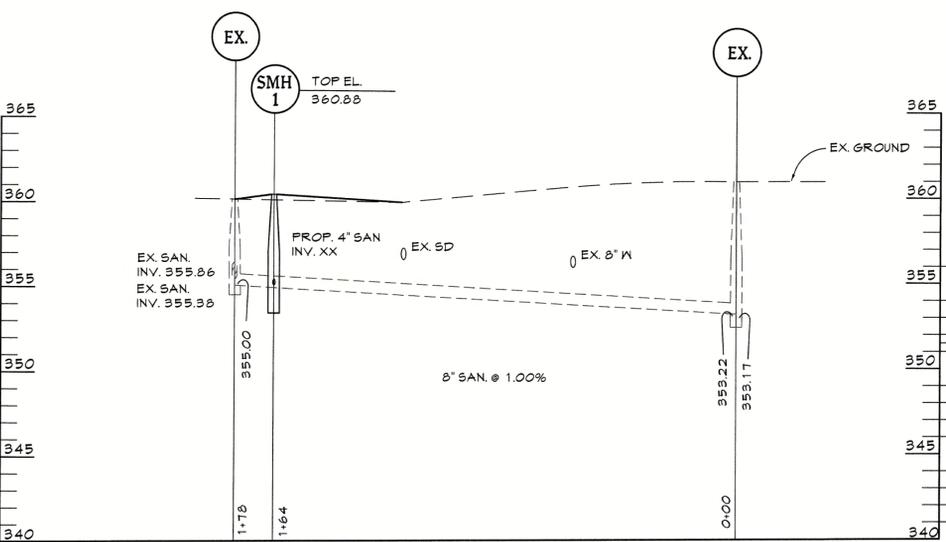
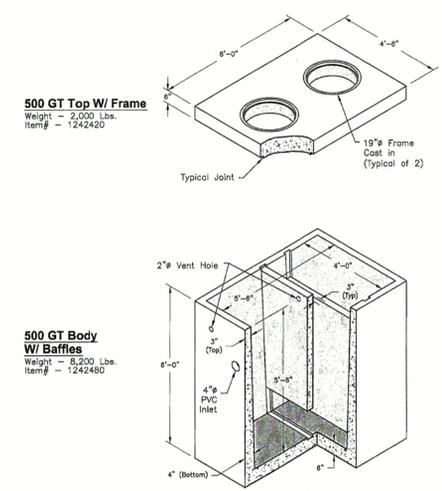
SCALE: HORIZ: 1"=30'  
VERT: 1"=5'



**STORM DRAIN PROFILE**

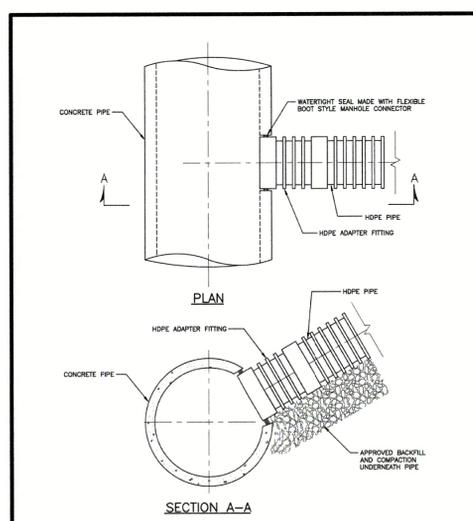
SCALE: HORIZ: 1"=30'  
VERT: 1"=5'

**Oldcastle Precast** Water  
4'-0" x 5'-6" x 5'-6" I.D.  
500 Gallon Grease Trap  
Model GT-500

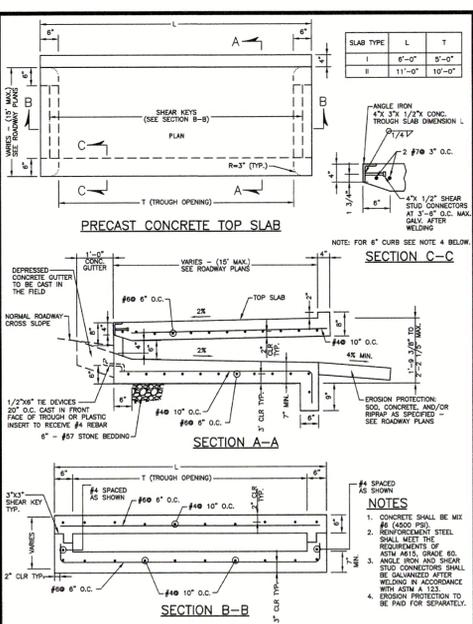


**SANITARY SEWER PROFILE**

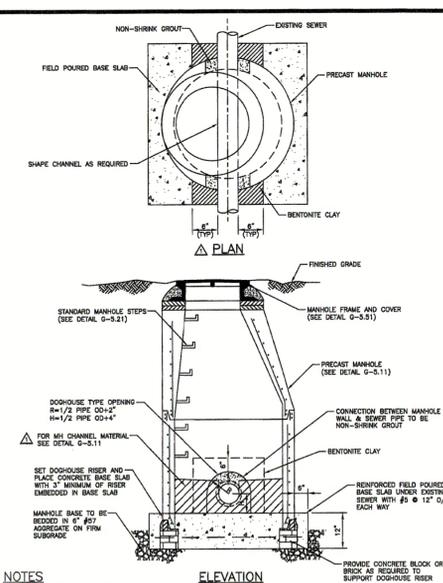
SCALE: HORIZ: 1"=30'  
VERT: 1"=5'



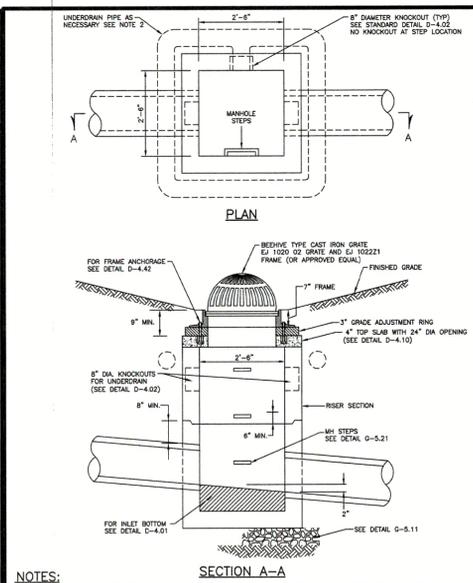
- NOTES:**
1. FOR USE WITH HOPE PIPE CONNECTION TO RCP PIPE ONLY.
  2. 5/8\"/>



- NOTES:**
1. CONCRETE SHALL BE MIX #4 (AS PER)
  2. REINFORCEMENT STEEL SHALL MEET THE REQUIREMENTS OF ASTM A630, GRADE 60. ANGLE IRON AND SHEAR KEYS SHALL BE GALVANIZED AFTER WELDING IN ACCORDANCE WITH ASTM A 123.
  3. EROSION PROTECTION TO BE PAID FOR SEPARATELY.



- NOTES:**
1. SEE DETAIL G-5.11 FOR GENERAL NOTES APPLICABLE TO ALL PRECAST MANHOLES.
  2. SEE DETAIL G-5.13 FOR MANHOLE DETAILS FOR PIPES 24\"/>



- NOTES:**
1. INLET TO BE USED IN SWAMP (AS SHOWN) OR IN ENVIRONMENTAL SITE DESIGN APPLICATIONS. MAXIMUM DESIGN CAPACITY 3.0 CFS. TO BE USED WITH 24\"/>

Howard County, Maryland Department of Public Works  
Detail D-9.54  
INLET Flow Through  
D-9.54

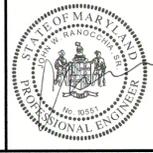
Howard County, Maryland Department of Public Works  
Detail D-4.35  
PRECAST MANHOLE Doghouse Over Existing Sewer 24\"/>

Howard County, Maryland Department of Public Works  
Detail G-5.14  
TYPE D INLET With Beehive Grate  
D-4.11

**PROFESSIONAL CERTIFICATION**  
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LICENSE NUMBER: 10551 EXPIRATION DATE: 8-26-21

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Chief, Development Engineering Division  
Chief, Division of Land Development  
Director

**CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
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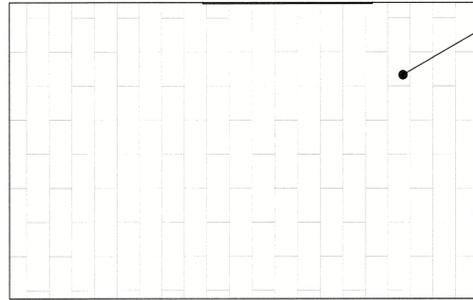


DESIGN BY: M.J.P.			
DRAWN BY: M.S.S.			
CHECKED BY:			
DATE:			
BY NO.		REVISION	DATE

DEVELOPER  
**BROOKFIELD PROPERTIES**  
26300 CEDAR ROAD  
BEECHWOOD, OHIO 44122  
212-417-7000

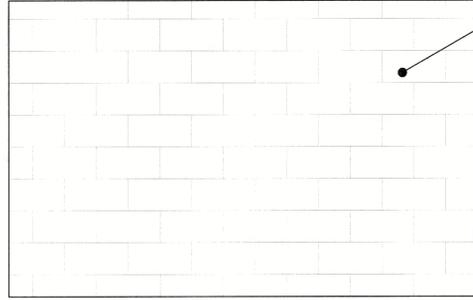
REVISED SITE DEVELOPMENT PLAN  
**THE MALL IN COLUMBIA**  
SEARS - LOWER LEVEL COLUMBIA TOWN CENTER  
TAX MAP: 30, 38 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
SHEET 90 OF 95

C.E.I. PROJECT NUMBER 28141.06  
SCALE:



TYP. DECORATIVE SCORING PATTERN

NOTE:  
REFER TO PLAN (THIS SHEET)  
FOR ORIENTATION OF  
PAVING FIELD



TYP. DECORATIVE SCORING PATTERN

NOTE:  
REFER TO PLAN (THIS SHEET)  
FOR ORIENTATION OF  
PAVING FIELD

NOTE:  
PAVERS SELECTED IN ACCORDANCE  
W/ NEIGHBORHOOD DESIGN GUIDELINES.

ACCENT PAVERS 1  
CONCRETE UNIT PAVERS (BY HANOVER)  
P3: MATRIX# M2127 / FINISH 13 12"x24" = 40%  
P3: MATRIX# M2835 / FINISH 13 12"x24" = 60%

ACCENT PAVERS 2  
CONCRETE UNIT PAVERS (BY HANOVER)  
P4/A: MATRIX# M2127 / FINISH 13 (SIZE: 8" x 16") = 40%  
P4/B: MATRIX# M1537 / FINISH 13 (SIZE: 8" x 16") = 60%

ACCENT PAVING 2 - CONCRETE PAVING PATTERN

Not To Scale

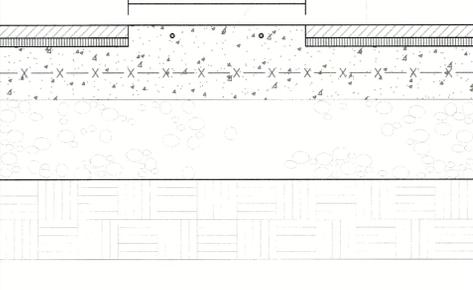
ACCENT PAVING 1 - CONCRETE PAVING PATTERN

Not To Scale

CONCRETE BAND,  
LIGHT BROOM FINISH,  
SCORE EVERY 5'

ADJACENT CONCRETE  
PAVERS

24"  
(SEE PLAN)

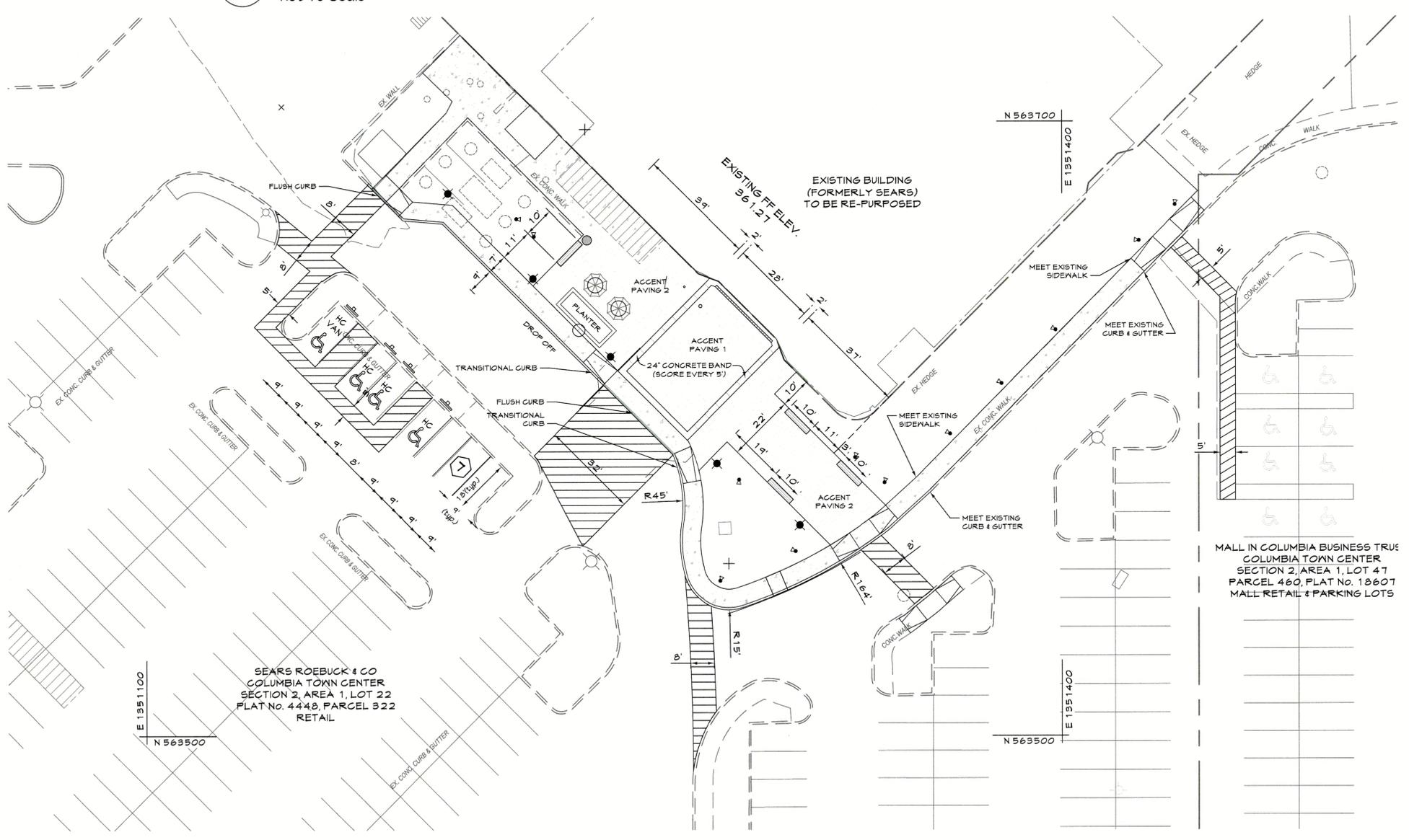


CONCRETE BANDING

Not To Scale

**LEGEND**

- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Paving
- Soil Line
- SD Existing Storm Drain and Inlet
- W Existing Water and Fire Hydrant
- SAN Existing Sewer
- Existing Curb and Gutter
- E Existing Underground Electric
- OHE Existing Overhead Electric
- FO Existing Fiber Optic
- CTV Existing Cable Television
- G Existing Gas and Valve
- BGEN542497 Existing BGE Light Pole
- Existing Sign
- Existing Electric Structure
- X-X-X Existing Fence Line
- Existing Retaining Wall
- Existing Tree Line
- Existing Drive
- Existing Building
- Limit of field run topo
- Proposed Curb and Gutter
- Proposed Retaining Wall
- Proposed Edge of Pavement
- Proposed Sidewalk
- Proposed Lighting



SEARS ROEBUCK & CO  
COLUMBIA TOWN CENTER  
SECTION 2, AREA 1, LOT 22  
PLAT No. 4448, PARCEL 322  
RETAIL

MALL IN COLUMBIA BUSINESS TRUS  
COLUMBIA TOWN CENTER  
SECTION 2, AREA 1, LOT 47  
PARCEL 460, PLAT No. 18607  
MALL RETAIL & PARKING LOTS

**PLAN**

SCALE: 1"=20'

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10851 EXPIRATION DATE: 8-26-21

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division  
Chief, Division of Land Development  
Director

**CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY:	M.J.P.
DRAWN BY:	M.S.S.
CHECKED BY:	
DATE:	
BY NO.	REVISION
DATE	

DEVELOPER  
**BROOKFIELD PROPERTIES**  
26300 CEDAR ROAD  
BEECHWOOD, OHIO 44122  
212-417-7000

REVISED SITE DEVELOPMENT PLAN  
**THE MALL IN COLUMBIA**  
SEARS - LOWER LEVEL COLUMBIA TOWN CENTER  
TAX MAP: 30, 36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
SHEET 91 OF 95

C.E.I. PROJECT NUMBER 28141.06

SCALE:

**SEQUENCE OF CONSTRUCTION**

1. Obtain grading permits (1 day)
2. Install erosion and sediment control measures (SCE, SFP and inlet protection) (2 days)
3. Contractor to begin rough grading operations and removal of curbs, existing and existing paving. Repair as necessary any sediment controls at the end of each working day. (10 days)
4. Contractor to begin utility construction and building entrance work. Repair as necessary any sediment controls at the end of the day. (45 days)
5. Utility tie-ins to existing pipes to follow utility notes. Repair paving as necessary and tie-ins should be made during a 3 day dry weather forecast. (7 days)
6. Install inlet protection for I-1 and install filter media only when curbs and final paving is completed for area draining to the MBR. (4 days)
7. When construction is completed and with the permission of the inspector, remove SFP to install remaining full curb and new ramps. (7 days)
8. Stabilize all areas and install landscaping. (7 days)
9. Once all areas are stabilized, and with the permission of the sediment control inspector, remove SCE and repair driveway. (7 days)
10. With the approval of the sediment control inspector, permanently stabilize any remaining areas and remove remaining sediment control devices disturbed by this process. (2 days)

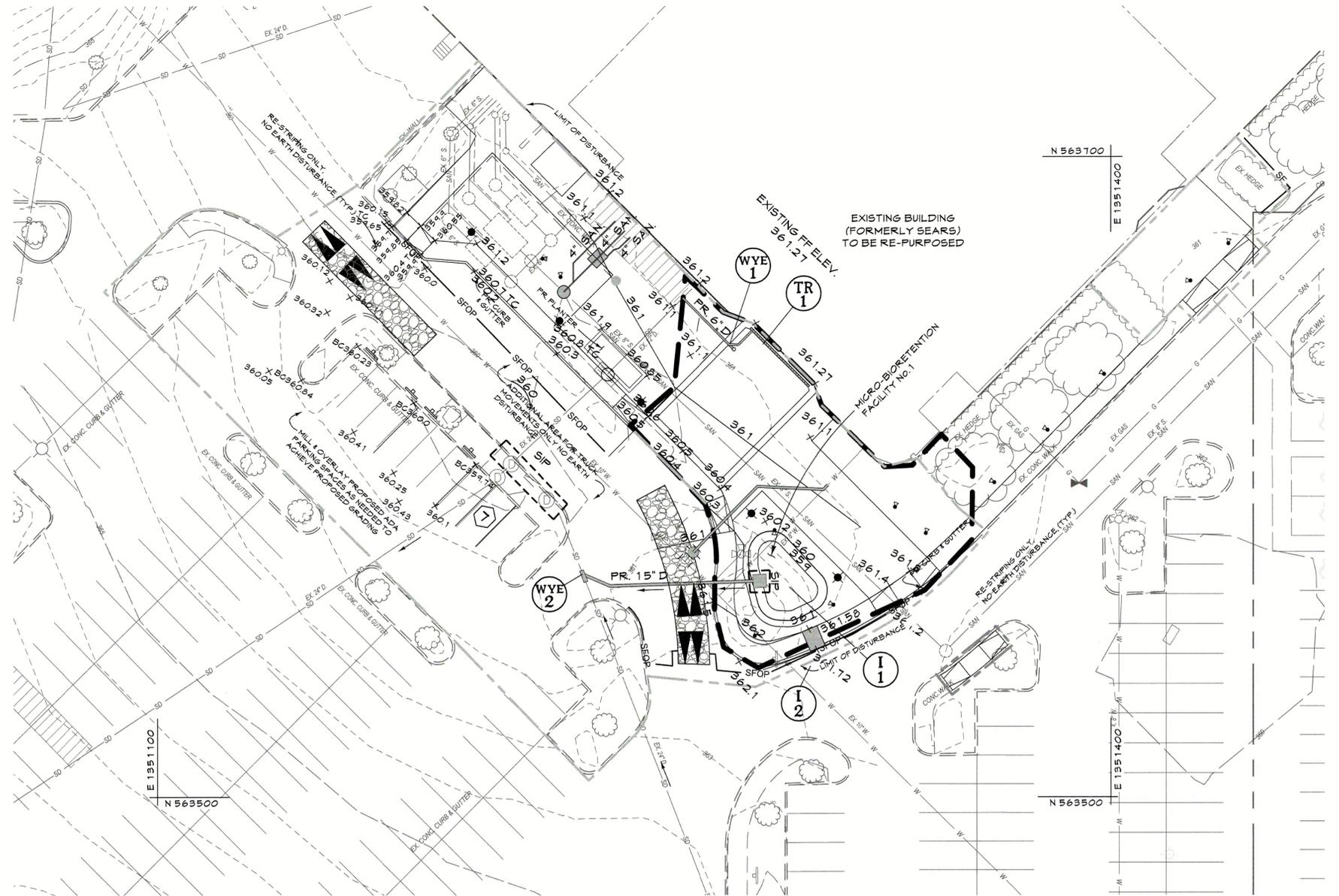
**LEGEND**

- |  |                                 |  |                                  |
|--|---------------------------------|--|----------------------------------|
|  | Existing Minor Contour          |  | Construction Fence               |
|  | Existing Storm Drain and Inlet  |  | Silt Fence on Paving             |
|  | Existing Water and Fire Hydrant |  | Silt Fence                       |
|  | Existing Sewer                  |  | Curb Inlet Protection            |
|  | Existing Curb and Gutter        |  | Standard Inlet Protection        |
|  | Existing Underground Electric   |  | Stabilized Construction Entrance |
|  | Existing Overhead Electric      |  | Mountable Berm                   |
|  | Existing Fiber Optic            |  |                                  |
|  | Existing Gas and Valve          |  |                                  |
|  | Existing BGE Light Pole         |  |                                  |
|  | Existing Sign                   |  |                                  |
|  | Existing Electric Structure     |  |                                  |
|  | Existing Fence Line             |  |                                  |
|  | Existing Retaining Wall         |  |                                  |
|  | Existing Tree Line              |  |                                  |
|  | Existing Drive                  |  |                                  |
|  | Existing Building               |  |                                  |
|  | Proposed Curb & Gutter          |  |                                  |
|  | Proposed Sidewalk               |  |                                  |
|  | Limit of Disturbance            |  |                                  |
|  | Drainage Divide                 |  |                                  |

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10551      EXPIRATION DATE: 6-28-21



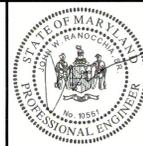
**PLAN**

SCALE: 1"=20'

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
 Director \_\_\_\_\_ Date \_\_\_\_\_

**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY:	M.J.P.			
DRAWN BY:	M.S.S.			
CHECKED BY:				
DATE:				
BY	NO.	REVISION	DATE	

DEVELOPER  
**BROOKFIELD PROPERTIES**  
 26300 CEDAR ROAD  
 BEECHWOOD, OHIO 44122  
 212-417-7000

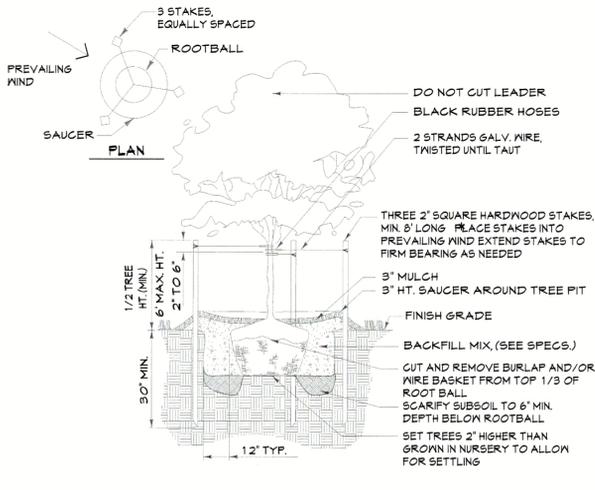
**EROSION & SEDIMENT CONTROL PLAN**

REVISED SITE DEVELOPMENT PLAN  
**THE MALL IN COLUMBIA**  
 SEARS - LOWER LEVEL COLUMBIA TOWN CENTER  
 TAX MAP: 30.36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
 SHEET 92 OF 95

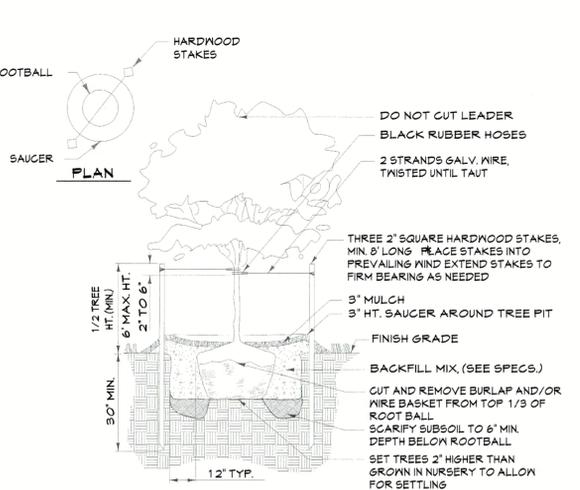
C.E.I. PROJECT NUMBER  
 28141.06

SCALE:

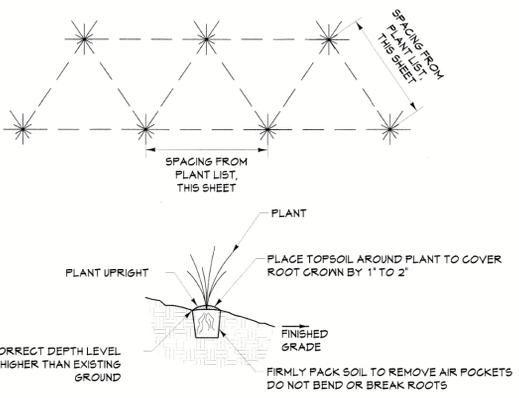




**DECIDUOUS TREE PLANTING**  
GREATER THAN 3" CALIPER  
Not To Scale

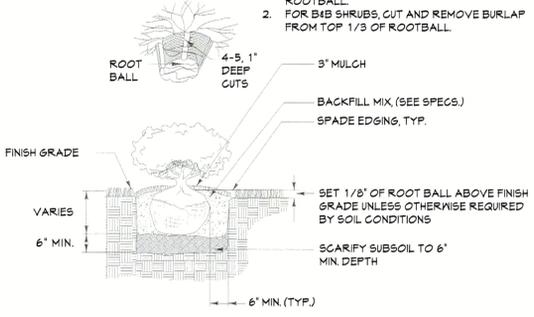


**DECIDUOUS TREE PLANTING**  
LESS THAN 3" CALIPER  
Not To Scale



**GROUNDCOVER PLANTING**  
Not To Scale

**NOTES:**  
1. FOR CONTAINER SHRUBS, COMPLETELY REMOVE ALL NON-BIODEGRADABLE CONTAINERS AND SCARIFY ROOTBALL BY USING A SHARP BLADE AND MAKING 4 TO 5 ONE INCH CUTS THE LENGTH OF THE ROOTBALL.  
2. FOR B&B SHRUBS, CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL.



**SHRUB PLANTING**  
Not To Scale

- PLANTING NOTES**
- Plant material substitutions will not be accepted without approval of the Landscape Architect.
  - All shrubs and groundcover areas shall be planted in continuous prepared planting beds.
  - All shrub beds shall be mulched with hardwood mulch as detailed and specified except where noted on plans.
  - Maintain positive drainage out of planting beds at a minimum of two percent slope.
  - Plant quantities are provided for the convenience of the contractor. If discrepancies exist between quantities shown on the plan and those shown on the plant list, the quantities on the plan shall take precedence.
  - All areas within contract limits disturbed during or prior to construction not designated to receive plantings and mulch shall be fine graded and seeded in accordance with planting and construction.
  - The contractor shall notify Miss Utility, (800-257-1177) a minimum of three working days prior to planting and construction.
  - All plant material shall be nursery grown and shall conform to American Nurserymen Association Standards.
  - All planting procedures shall conform to Landscape Contractors Association Specification Guidelines for Baltimore/Washington Metropolitan Area (latest edition) and Century Engineering, Inc. specifications.
  - Contractor shall test pit prior to plant installation.

- MINIMUM LANDSCAPE MAINTENANCE REQUIREMENTS**
- Lawn areas shall be mowed to a height of 2 to 3 inches and not allowed to reach a height of 4 inches before mowing.
  - All curbs and walks shall be edged as needed.
  - All lawn areas adjacent to building facades or structures shall be trimmed.
  - A slow release nitrogen balanced fertilizer with a 2-1-1 ratio shall be applied at a rate of 2 pounds of nitrogen per 1000 square feet in September, October, and February.
  - Lime shall be applied at the rate determined by a soils report.
  - It is recommended that lawn areas be treated in mid-March to early April with pre-emergent herbicide (Betasan) or equal applied at the manufacturer's rate.
  - A post-emergent herbicide (Trimec) or equal is recommended to be sprayed on lawn areas in the late spring or early fall. Follow manufacturer's rates and recommendations.
  - Insecticides and fungicides are recommended for insect and disease control.
  - Reseed bare areas of lawn as necessary. Yearly aeration is recommended.
  - All trash, litter, and debris shall be removed from lawn areas, parking lots, and shrub beds as needed.
  - Mulch all shrub and groundcover beds yearly with 3 inches of shredded hardwood bark.
  - Permit shrubs and trees to grow and enlarge to their design size. Consult project Landscape Architect for details.
  - Prune trees in accordance with Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas.

**LEGEND**

- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Road
- Existing Curb and Gutter
- Existing Storm Drain and Inlet
- Existing Water and Fire Hydrant
- Existing Sewer
- Existing Drive
- Existing Building
- Tract Boundary
- Utility Easement Line
- Proposed Sewer
- Proposed Water and Fire Hydrant
- Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- Proposed Grades
- Building Entry
- Existing Tree
- Proposed Shade Tree
- Proposed Flowering Tree
- Proposed Shrub
- Planting TBD
- Limits of Disturbance
- Existing Light
- Proposed Light
- Proposed Tree Uplight

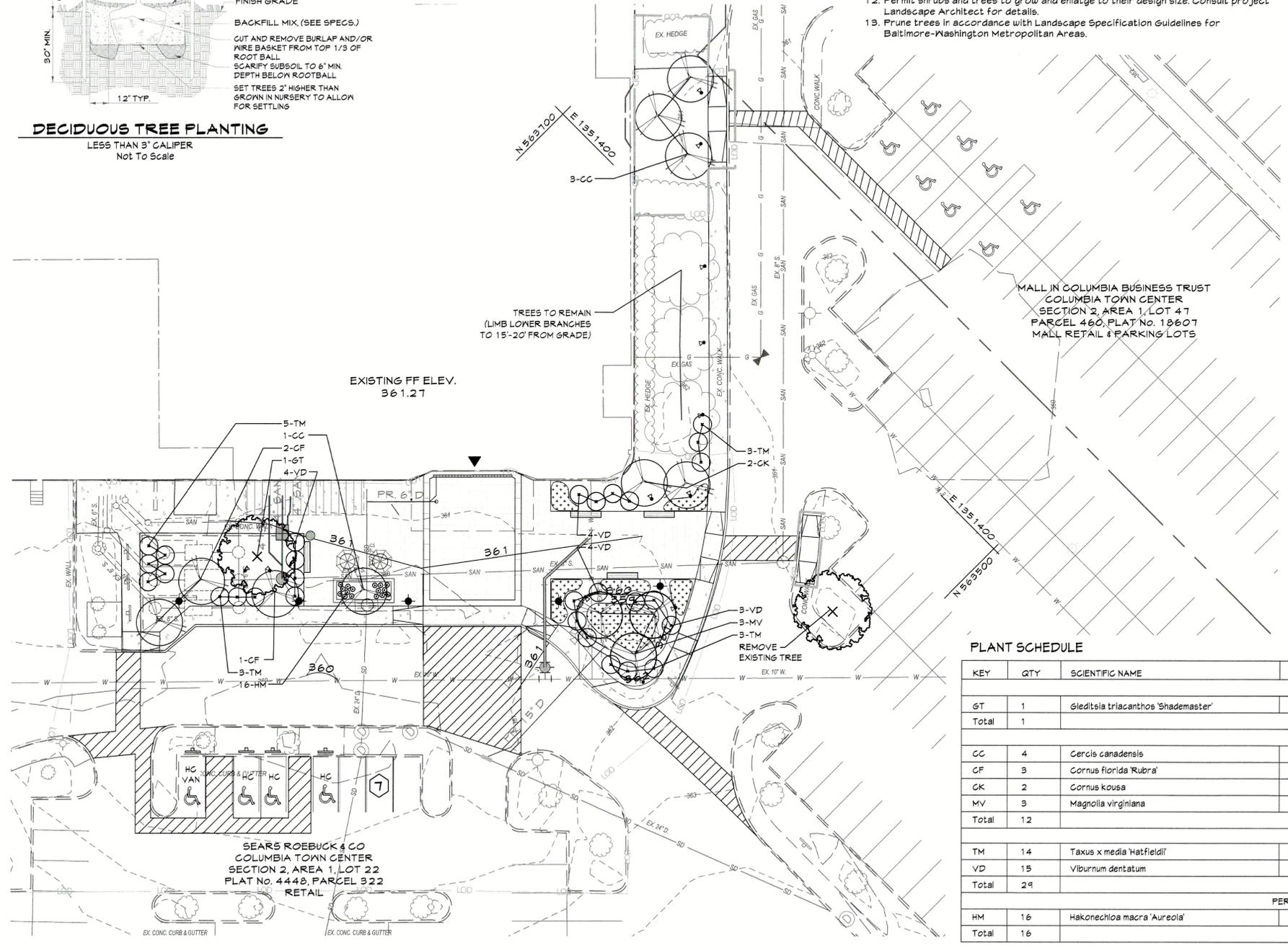
**LANDSCAPE SURETY INFORMATION**

Posting of landscape surety is required in accordance with the Downtown Guidelines for all areas outside of the bio-retention facilities in the amount of \$2,410 for 1 shade tree (\$300.00 each), 12 ornamental trees (\$150.00 each), and 24 shrubs (\$30.00 each). Financial surety for the required landscaping must be posted as part of the developer's agreement. All planting shall be completed as shown on the landscape plan prior to release of any landscape surety.

**LANDSCAPE DEVELOPER'S CERTIFICATE**

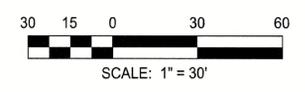
I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code, and the Howard County Landscape Manual. I/We further certify that upon completion a letter of landscape installation accompanied by an executed one-year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

Name \_\_\_\_\_ Date \_\_\_\_\_



**PLANT SCHEDULE**

KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
<b>SHADE TREES</b>					
GT	1	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	2 1/2" cal.	B & B, specimen
Total	1				
<b>ORNAMENTAL TREES</b>					
CC	4	Cercis canadensis	Eastern Redbud	6'-8" ht.	B & B
CF	3	Cornus florida 'Rubra'	Flowering Dogwood	6'-8" ht.	B & B
CK	2	Cornus kousa	Kousa Dogwood	6'-8" ht.	B & B
MV	3	Magnolia virginiana	Sweetbay Magnolia	6'-8" ht.	B & B
Total	12				
<b>SHRUBS</b>					
TM	14	Taxus x media 'Hatfieldi'	Hatfield Yew	30-36" ht.	B & B
VD	15	Viburnum dentatum	Arrowwood Viburnum	30-36" ht.	B & B
Total	29				
<b>PERENNIALS / GROUNDCOVER</b>					
HM	16	Hakonechloa macra 'Aureola'	Golden Variegated Hakonechloa	1 gal.	
Total	16				



**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 1008 EXPIRATION DATE: 5-20-20

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_

Director \_\_\_\_\_ Date \_\_\_\_\_

**M CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY: M.J.P.  
DRAWN BY: M.S.S.  
CHECKED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

BY	NO.	REVISION	DATE

DEVELOPER  
**BROOKFIELD PROPERTIES**  
26300 CEDAR ROAD  
BEECHWOOD, OHIO 44122  
212-417-7000

**LANDSCAPE PLAN**

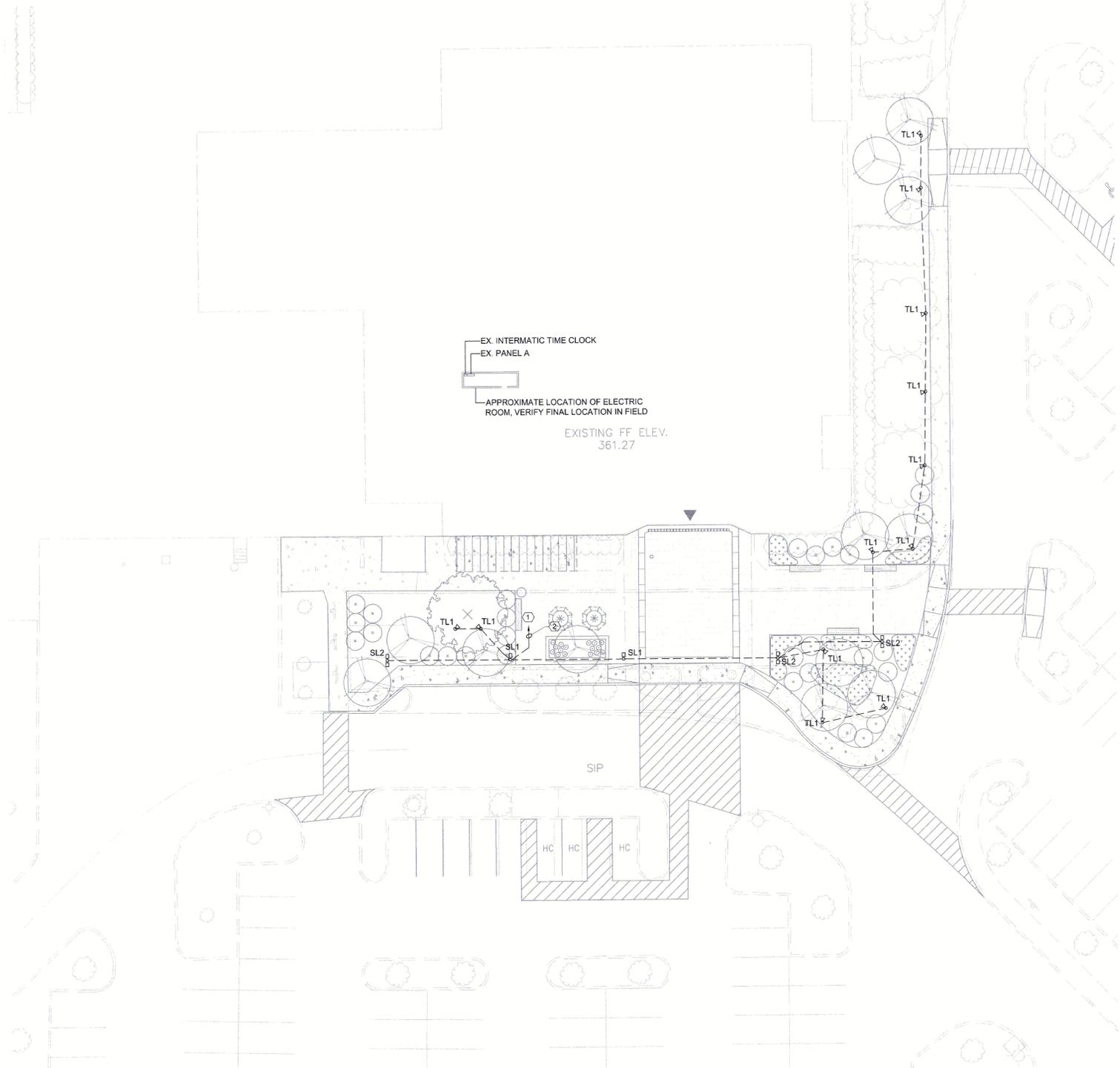
REVISED SITE DEVELOPMENT PLAN  
**THE MALL IN COLUMBIA**

SEARS - LOWER LEVEL COLUMBIA TOWN CENTER  
TAX MAP: 30.36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND  
SHEET 94 OF 95

C.E.I. PROJECT NUMBER  
28141.06

SCALE:

S:\2008\Facilities\28141.04\TMIC\Drawings\TMIC - Sears LL Redlines\28141.08 (LP-01) Landscape Plan\_94 of 95.dwg Jan 10, 2020 11:30am atjmsch



**ELECTRICAL SITE PLAN**  
SCALE: 1" = 20'-0"

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 45534      EXPIRATION DATE: 06/03/2020

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division      Date  
Chief, Division of Land Development      Date  
Director      Date

**M CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY: M.C.S.					
DRAWN BY: D.R.W.					
CHECKED BY: M.C.S.					
DATE: 12/13/19	BY	NO.	REVISION	DATE	

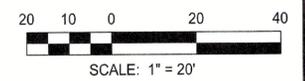
DEVELOPER  
**BROOKFIELD PROPERTIES**  
26300 CEDAR ROAD  
BEECHWOOD, OHIO 44122  
212-417-7000

**SITE LIGHTING PLAN**  
**THE MALL IN COLUMBIA**

SEARS - LOWER LEVEL COLUMBIA TOWN CENTER  
TAX MAP: 30, 38 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045  
ELECTION DISTRICT 5      HOWARD COUNTY, MARYLAND

C.E.I. PROJECT NUMBER  
28141.06

SCALE:  
1" = 20'-0"



SCALE: 1" = 20'

**ELECTRICAL LEGEND**

- NOTE:  
1. MOUNTING HEIGHTS SHALL BE TO THE CENTER OF THE DEVICE ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED. MOUNTING HEIGHT ON PLAN SUPERCEDES THAT INDICATED IN LEGEND.
- BELOW GRADE CONDUIT AND WIRE, REFER TO PLANS FOR REQUIREMENTS
  - POLE MOUNTED LIGHTING FIXTURE - TYPE AS INDICATED, REFER TO LIGHT FIXTURE SCHEDULE FOR REQUIREMENTS.
  - ⊕ GRADE MOUNTED TREE UPLIGHT - TYPE AS INDICATED, REFER TO LIGHT FIXTURE SCHEDULE FOR REQUIREMENTS.
  - ⚠ REVISION NOTE - REFER TO REVISION BLOCK
  - ① SPECIFIC NOTE - REFER TO SPECIFIC NOTES

**ELECTRICAL ABBREVIATIONS**

ABBREV.	DESCRIPTION	ABBREV.	DESCRIPTION
A	AMPERE	KW	KILOWATTS
AFF	ABOVE FINISHED FLOOR	LRA	LOCKED ROTOR AMPS
AIC	AMPERE INTERRUPTING CAPACITY	M.H.	MOUNTING HEIGHT
AL	ALUMINUM	MCB	MAIN CIRCUIT BREAKER
AWG	AMERICAN WIRE GAUGE	MGB	MAIN GROUND BAR
BPS	BOLTED PRESSURE SWITCH	MH	METAL HALIDE OR MOUNTING HEIGHT
C	CONDUIT	MLO	MAIN LUGS ONLY
CKT	CIRCUIT	MOD	MOTOR OPERATED DAMPER
CLG	CEILING	MTD	MOUNTED
CU	COPPER	N.C.	NORMALLY CLOSED
DAS	DISTRIBUTED ANTENNA SYSTEM	NEC	NATIONAL ELECTRICAL CODE
DC	DIRECT CURRENT	NFSS	NON-FUSED SAFETY SWITCH
DE/TD	DUAL ELEMENT/ TIME DELAY	NIC	NOT IN CONTRACT
E	EMERGENCY	NL	NIGHT LIGHT (UNSWITCHED)
ECB	ENCLOSED CIRCUIT BREAKER	P	POLE
EF	EXHAUST FAN	PH	PHASE
EMS	ENERGY MANAGEMENT SYSTEM	PVC	POLYVINYL CHLORIDE
EMT	ELECTRICAL METALLIC TUBING	PWR	POWER
EV	ELECTRICAL VEHICLE	REC	RECEPTACLE
F	FUSED OR FUSIBLE	RM	ROOM
FLA	FULL LOAD AMPS	SCCR	SHORT CIRCUIT CURRENT RATING
FSS	FUSED SAFETY SWITCH	S.D.	SERVICE DISCONNECT
FT	FEET	TMS	THERMAL MANUAL SWITCH
G OR GRD	GROUND	SPD	SURGE PROTECTIVE DEVICE
GB	GROUND BAR	UL	UNDERWRITERS LABORATORY
H.I.D.	HIGH INTENSITY DISCHARGE	V	VOLTS
H.O.A.	HAND-OFF-AUTOMATIC	W	WATTS
HP	HORSEPOWER	W/	WITH
KV	KILOVOLTS	WCR	WITHSTAND AND CLOSE ON RATING
KVA	KILOVOLT-AMPERE	WH	WATER HEATER
		WP	WEATHERPROOF

**GENERAL NOTES (APPLY TO WORK PROVIDED UNDER DIV. 26):**

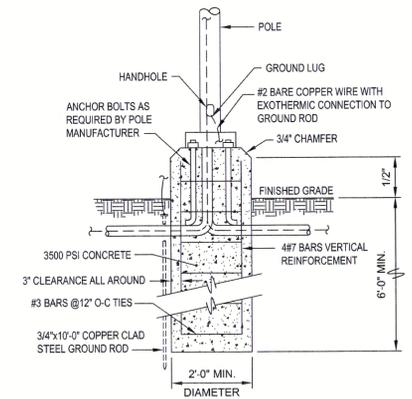
- SCOPE: FURNISH LABOR, EQUIPMENT AND MATERIALS NECESSARY FOR THE INSTALLATION OF THE COMPLETE ELECTRICAL SYSTEM AS SPECIFIED HEREIN AND SHOWN ON THE CONTRACT DRAWINGS. OUTLINE DESCRIPTION AND DIAGRAMMATIC REPRESENTATION OF SYSTEM OPERATION AND EQUIPMENT DOES NOT LIMIT CONTRACTOR LIABILITY FOR FURNISHING AND INSTALLING COMPLETE AND OPERABLE SYSTEMS.
- APPLICABLE CODES: THE INSTALLATION SHALL COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND CODE OF THE LOCAL AUTHORITY HAVING JURISDICTION.
- NOTE DEFINITIONS: "DRAWING NOTES" APPLY TO WORK ON THAT INDIVIDUAL DRAWING. "SPECIFIC NOTES" APPLY ONLY WHERE INDICATED WITH THE "SPECIFIC NOTE" SYMBOL. REFER TO LEGEND.
- COORDINATE UNDERGROUND CIRCUIT INSTALLATION WITH OTHER EXISTING AND PROPOSED UNDERGROUND UTILITIES. ENGAGE THE SERVICES OF A UTILITY LOCATING FIRM PRIOR TO EXCAVATION.
- CABLE AND CONDUIT SIZES ARE BASED ON COPPER CONDUCTORS UNLESS SPECIFICALLY NOTED OTHERWISE.
- VOLTAGE DROP CALCULATIONS ARE BASED ON CIRCUIT LOADING AND DISTANCES GENERALLY AS CIRCUITED ON PLAN. IF ALTERNATE CONDUIT ROUTING, CIRCUIT LOADING, OR CONDUCTOR MATERIAL IS PROVIDED, VERIFY VOLTAGE DROP.
- UNLESS OTHERWISE NOTED, CIRCUITS HAVE NOT BEEN DERATED FOR CONDUCTOR BUNDLING, NOR HAVE CONDUITS BEEN SIZED FOR MULTIPLE CIRCUITS. IF MULTIPLE CIRCUITS ARE INSTALLED IN A SINGLE RACEWAY, DERATE CONDUCTOR AMPACITY PER NEC, AND PROVIDE APPROPRIATE SIZE CONDUIT.
- PERMITS: INCLUDE IN THE BID PRICE THE PAYMENT OF NECESSARY PERMITS. FURNISH THE OWNER PRIOR TO THE FINAL PAYMENT A CERTIFICATE FROM THE ELECTRICAL INSPECTION DEPARTMENT HAVING JURISDICTION CERTIFYING THAT THE ELECTRICAL WORK MEETS THE REQUIREMENTS OF THE LOCAL INSPECTION AUTHORITIES AND/OR THE NATIONAL BOARD OF FIRE UNDERWRITERS.
- SCHEDULING: COORDINATE WITH THE OWNER FOR SCHEDULING OF WORK.
- WORK SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER, PER NECA.
- KEEP THE WORK SITE AND SURROUNDING AREA FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH GENERATED BY WORK FROM THIS CONTRACT. PROPERLY AND LEGALLY DISPOSE OF MATERIALS.
- SAFETY: JOB SITE SAFETY SHALL BE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- GROUNDING: SYSTEMS SHALL BE BONDED AND GROUNDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, LOCAL CODES, THE UTILITY, AND SPECIAL SYSTEMS AND EQUIPMENT AS REQUIRED.
- VISIT THE SITE AND CAREFULLY EXAMINE EXISTING CONDITIONS THAT MAY AFFECT THE BID.
- FINAL CONNECTIONS TO ELECTRICAL EQUIPMENT, WHETHER FURNISHED UNDER THIS DIVISION, ANOTHER DIVISION, OR BY OTHERS, SHALL BE MADE UNDER THIS DIVISION.
- PROVIDE SUBMITTALS (SHOP DRAWINGS) FOR REVIEW FOR NEW MATERIALS AND EQUIPMENT. PRIOR TO SUBMITTING, REVIEW SUBMITTALS FOR COMPLIANCE WITH CONTRACT DOCUMENTS, CONFLICTS WITH OTHER TRADES, AND CONSTRUCTABILITY. IDENTIFY ANY DEVIATIONS IN SUBMITTALS FROM CONTRACT DOCUMENTS. ENGINEER'S REVIEW OF SUBMITTALS DOES NOT INCLUDE REVIEW OF DIMENSIONS, DETAILS, OR QUANTITIES. REVIEW DOES NOT WAIVE ANY REQUIREMENTS OF CONTRACT DOCUMENTS, INCLUDING REQUIREMENT TO PROVIDE A COMPLETE AND FUNCTIONAL SYSTEM.
- ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE UL LISTED AND SHALL CONFORM TO FACTORY MUTUAL STANDARDS AS APPLICABLE.
- EQUIPMENT LOCATIONS: LOCATIONS OF ELECTRICAL EQUIPMENT AND CONDUIT ARE SHOWN DIAGRAMMATICALLY. DETERMINE EXACT LOCATIONS IN FIELD.
- GUARANTEE: THE ENTIRE ELECTRICAL INSTALLATION, MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- SEALING FITTINGS AND APPROVED SEALING COMPOUND SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. SEAL AROUND CONDUIT PENETRATIONS OF FIRE-RATED WALLS WITH AN APPROVED SEALANT.

**LIGHT FIXTURE SCHEDULE**

TYPE	DESCRIPTION	VOLTS	PHASE	LAMP TYPE	WATTS	LUMENS	COLOR TEMP (K.)	CRI	MOUNTING	MANUFACTURER	MODEL SERIES
SL1	LED POLE LIGHT, HIGH OUTPUT, SINGLE HEAD MOUNT, 13' ROUND TAPERED STEEL POLE, 0-10V DIMMING DRIVER, FINISH TO BE SELECTED BY OWNER.	277	1	LED	53	2530 LM	4000K	80	POLE MOUNT 13'-0" AFG	HESS	CA450
SL2	LED POLE LIGHT, HIGH OUTPUT, DUAL HEAD MOUNT @ 180 DEG, 13' ROUND TAPERED STEEL POLE, 0-10V DIMMING DRIVER, FINISH TO BE SELECTED BY OWNER.	277	1	LED	106	5060 LM	4000K	80	POLE MOUNT 13'-0" AFG	HESS	CA450
TL1	ARCHITECTURAL FLOOD LIGHT, IN GRADE POWER PIPE TRANSFORMER, FINISH TO BE SELECTED BY OWNER.	277	1	LED	7	500 LM	4000K	80	MOUNTED ON IN-GRADE POWER PIPE	BK LIGHTING	DELTA STAR

**SPECIFIC NOTES:**

- UTILIZE EXISTING 20A-1P CIRCUIT BREAKER (CIRCUIT #39, PREVIOUSLY UTILIZED FOR MAIN ENTRANCE CANOPY LIGHTING) IN PANEL 'A' FOR NEW OUTDOOR LIGHTING. UTILIZE EXISTING INTERMATIC TIME CONTROL FOR NEW LIGHTING CIRCUIT.
- PROVIDE NEW WIRING, CONDUIT, BOXES AND SUPPORTS FROM EXISTING PANEL 'A' TO NEW LIGHT FIXTURES. UTILIZE 2#10, 1#10GRD - 1" C FOR BRANCH CIRCUIT WIRING. BELOW GRADE CONDUIT SHALL BE SCHEDULE 40 PVC.



**DETAIL - LIGHT POLE BASE DETAIL**